

El Sobrante Municipal Advisory Council (ESMAC)

**Meetings are on the 2nd Wednesday of every month at 7:00 p.m. at the El Sobrante Library
4191 Appian Way, El Sobrante**

Mailing Address – 3769 B San Pablo Dam Road, El Sobrante, 94803

The ESMAC is an advisory body to the Board of Supervisors

**Chair – Vacant, Vice-Chair – Tom Owens, Secretary – Sharon Thygesen,
Treasurer – George Cleveland, At-Large Members – James Hermann, Joseph
Camacho, Mark Porter**

The ESMAC and subcommittees of the ESMAC will provide reasonable accommodation for persons with disabilities planning to attend ESMAC meetings or ESMAC subcommittee meetings who contact the chair at least 24 hours before the meeting.

*Printed agendas are available for review at the El Sobrante Library and the Sheriff's Annex.

Electronic copies are available for download at
www.cocobos.org/gioia/elsobrantemac

AGENDA for Wednesday, June 11, 2014

7:00 p.m. – Pledge of Allegiance/ Call to Order/ Welcome/ Approval of minutes and agenda

7:05 p.m. – Treasurer's Report, Introduction of speakers/ guests/ topics, Consider consent items

Presentations

7:10 p.m. to 7:15 p.m.

P.1 Presentation by Lt. D.J. Watt, Bay Station Commander, Crime Report

7:15 p.m. to 7:25 p.m. Questions – limit 2 minutes per speaker

7:25 p.m. to 7:30 p.m.

P.2 Presentation by Officer John Pruitt, California Highway Patrol

7:30 p.m. to 7:40 p.m. Questions – limit 2 minutes per speaker

7:40 p.m. to 7:45 p.m.

P.3 Presentation by Michelle Blackwell, East Bay Municipal Utility District, projects affecting El Sobrante

7:45 p.m. to 7:55 p.m. Questions – limit 2 minutes per speaker

7:55 p.m. to 8:00 p.m.

P.4 Presentation by Contra Costa County Fire Battalion Chief, Lon Goetsch

8:00 p.m. to 8:10 p.m. Questions – limit 2 minutes per speaker

8:10 p.m. to 8:15 p.m.

P.5 Presentation by Rob Ham, Contra Costa Red Cross External Relations Team

8:15 p.m. to 8:25 p.m. Questions – limit 2 minutes per speaker

8:25 p.m. to 8:30 p.m.

P.6 Presentation by James Lyons, District Coordinator for Supervisor John Gioia, monthly report

8:30 p.m. to 8:40 p.m. Questions – limit 2 minutes per speaker

Discussions Items – The council will consider and take action on the following:

8:40 p.m. to 8:45 p.m.

DI.1 – Review revised plans submitted by Wild and Radish LLC to the Department of Conservation and Development.

8:45 p.m. to 8:55 p.m. Questions – limit 2 minutes per speaker

8:55 p.m. to 9:00 p.m.

DI.2 – Review request to modify existing land use permit of an existing telecommunications facility approve under LP08-2018, to add a hydrogen fuel cell backup system and associated equipment.

9:00 p.m. to 9:10 p.m. Questions – limit 2 minutes per speaker

Short Discussion Items

9:10 p.m. to 9:15 p.m.

SDI.1 Report from El Sobrante Valley Planning and Zoning Advisory Committee, Co- Chair, Eleanor Loynd

9:15 p.m. to 9:25 p.m. Questions – limit 2 minutes per speaker

Information Items

10.1 – El Sobrante Valley Planning and Zoning Advisory Committee agenda from May 8, 2014

10.2 – Letter from Sheriff Livingston to ESMAC Chair.

10.3 – Spawners April 2014 newsletter

10.4 – El Sobrante parklet community stakeholder meeting notes

Sub Committee Reports

11.1 – ESMAC Land Use – Tom Owens, George Cleveland

11.2 – ESMAC Safety – Joseph Camacho, James Lyons

11.3 – ESMAC Education Programs/ Outreach – Sharon Thygesen, Mark Porter

New Business

Elect new Chair of the ESMAC

Public Comment - for items not on the agenda

Limit 2 minutes per speaker

Announcements

Agenda items/ Speakers for up coming

5/19/4
3 me



Date 5/19/14

DISTRIBUTION

Internal

___ Building Inspection	___ Grading Inspection
___ Advance Planning	___ Housing Programs
___ Trans. Planning	___ Telecom Planner
___ ALUC Staff	___ HCP/NCCP Staff
___ APC Floodplain Tech	___ County Geologist

Environmental Health Hazardous Materials

V Engineering Services (Full-size) ___ Traffic
___ Flood Control (Full-size) ___ Special Districts

___ Fire District _____
 ___ Sanitary District _____
 ___ Water District _____
 ___ City of _____
 ___ School District(s) _____
 ___ LAFCO _____
 ___ Reclamation District # _____
 ___ East Bay Regional Park District _____
 ___ Diablo/Discovery Bay/Crockett CSD _____
 ✓ ___ MAC/TAC *EI Sobrante* _____
 ___ Improvement/Community Association _____

____CHRIS – Sonoma State
____CA Fish and Wildlife, Region 3 – Bay Delta

El Sobrante Valley P#2

Project Planner Ruben Hernandez
Phone # (925) 674-7785
E-mail ruben.hernandez@dcd.cccounty.us
County File # LP13-2120

Prior to June 18, 2014

* * * * *

☐ Active Fault Zone (Alquist-Priolo)
☐ Flood Hazard Area, Panel # _____
☐ 60-dBA Noise Control
☐ CA EPA Hazardous Waste Site

* * * * *

Comments: None Below Attached

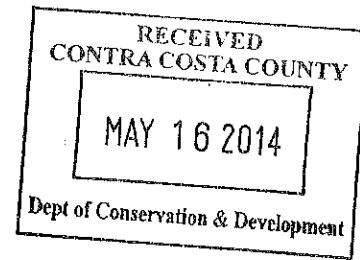
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Print Name _____

Signature _____ DATE _____

Agency phone #

Revised Plans:



Urban Farm with Trees, Crops and Nursery Land Use Application Auxiliary Narrative

INTRO: WHO WE ARE AND OUR OVERALL VISION

Please find attached the land use application submitted by Wild and Radish LLC for review by Contra Costa County Planning Department. Wild and Radish LLC was formed in 2011 by Andrew Chahrour, May Nguyen, Gavin Raders, Haleh Zandi, Leah Atwood and Ron Perrone and has since purchased 7 parcels (PARCEL #S) totaling 10.22 acres located at 4823 Hilltop Drive in El Sobrante. This land use application outlines our development plans for a sustainable garden and green building residential site, including three main sectors:

1. Seven acres dedicated to sustainable edible landscaping with trees, crops and native plants. The design strategy is based on restoring and celebrating some of the historical fruit tree crops and cultivars such as French Prune Plum, Gravenstein Apple, Bartlett Pear as well as a perennial understory such as artichokes, berries, native plants, and culinary herbs.
2. Two acres of ecological conservation and watershed preservation. This region includes a freshwater spring, a portion of Garrity Creek and a grove of eucalyptus, willow, and plum trees that provide critical habitat for wildlife. We will preserve and protect this sensitive riparian zone and the diverse species and native plant life it holds, by mitigating invasive species that choke the creek and recultivating native riparian plants.
3. Less than one acre to serve as the site for one house and one granny unit featuring energy-efficient, non-toxic, beautiful, and sustainable building practices.

REASONS FOR THE PROJECT

Wild and Radish LLC formed in order to cultivate and demonstrate sustainable living solutions for public benefit on a local and global scale. We strongly desire to play a key role in building a healthier local community, while raising our families in a peaceful setting connected to the natural environment. This site - which is located in a region that struggles with high levels of poverty, unemployment, and violence - has the potential to improve the health and well-being of Contra Costa County residents by increasing access to affordable organic food. A diverse range of organic foods will be made available to the local community off-site through mobile farmers market stands and a sliding-scale CSA (community supported agriculture) program. The farm, gardens and home will be used as an inspirational model of agroecological design, organic edible landscaping and as a demonstration of ecological stewardship and sustainable watershed management.

BUILDING PLANS AND LOCATION

The history of this land is unique because of community-driven efforts for environmental protection. Throughout our planning stage, Wild and Radish LLC has remained committed to hearing and addressing input from neighbors and other community residents, and this has played an important role in shaping our development plans and building designs. We greatly value the community's work towards protecting and regenerating the spring and watershed of Garrity creek.

During our early stages of project planning we spoke to neighbors by door-knocking in the community and attending meetings of the Friends of Garrity Creek, the Municipal Advisory Council and the El Sobrante Planning and Zoning Advisory Committee. We heard clearly neighbor's concerns about minimizing traffic on

Marin Road and blocking views. For this reason, we completely withdrew our original idea to build homes on the South-facing parcel below Marin Avenue and instead we are limiting our residential development to a $\frac{3}{4}$ -acre section of one parcel off of Hilltop Road. This development site is already the most ecologically impacted part of the property, having been partly developed already in the past, and it is far removed from the ecologically sensitive spring and creek.

On the non-residential parcels to the West and South of Marin Road, Wild and Radish and partnering nonprofits will implement land improvement practices such as building swales on contour and planting fruit trees, perennials and native species to stabilize the hillside, minimize erosion and reduce landslides -- all of which will improve the health of Garrity Creek watershed. Ultimately, the innovation and inspirational beauty of our project will model best practices towards a healthier and more sustainable food system, community, and ecology for El Sobrante and West Contra Costa County.

Wild and Radish, LLC plans to build two homes and two attached in-law units (each attached to the main unit), on the southern half of the Hilltop Road parcel (currently parcel #). We will be submitting a lot-line adjustment application to divide the Hilltop Road parcel into two legal parcels.

WATER STEWARDSHIP

☐ *Residential*

We endeavor to conserve as much of the rainwater that hits our impervious surfaces as we possibly can. We will incorporate rainwater harvesting from the rooftops of our structures to mitigate storm run-off and serve as a sustainable addition to our irrigation plans for our gardens.

Along with rainwater harvesting, we plan to re-use domestic greywater to irrigate non-edible household landscaping. During the dry season, we will re-use greywater from household laundry machines and showers and deliver it to our landscaping plants. By positioning our home at the uppermost portion of the Hilltop Dr. parcel we have preserved the possibility to reuse both rainwater and greywater with gravity alone.

We are sensitive to the "flashy" nature of Garrity Creek. With so many rooftops and roadways draining to it, large rain events regularly cause flash floods. We'll make sure our gutters and gullies are routed to swales and infiltration basins where stormwater can collect and infiltrate into the soil and not race to the bay on a destructive, erosive path.

☐ *Farm & Orchard*

The most sustainable place to store rainwater is directly in the landscape, and so slowing and sinking rainwater, reducing run-off, and building healthy topsoil will be primary goals on our farm. Impervious surfaces will continue to account for a tiny fraction of the overall area upon which rain falls on our land. Though small contoured earthworks, approximately 18" deep and 24" wide, we will gently slow the great volumes of water moving across our landscape and direct it to the root systems of our trees. As our trees mature, they will draw upon this under-ground 'water battery' and require much less irrigation to support them. By mulching all our plantings with tree bark mulch, we will reduce evaporation to further reduce irrigation requirements, practically eliminate topsoil erosion, and build healthy new topsoil by returning nutrients to the soil over time. All told, we expect that the net impact of these practices will greatly reduce soil erosion while regenerating our fresh-water spring and water table -- all critical to increasing resiliency with increasing climate change and drought.

With our spring as a sustainable and protected source of fresh-water, we will mindfully utilize spring water for irrigation in ways strikingly similar to historic uses on the land. We plan to pump water using renewable energy (solar or wind) from the spring uphill to two 5,000 gallon storage tanks, just as previous generations of farmers on our land did, as evidenced by the old concrete water tank and windmill artifacts found on the property. From these strategically positioned tanks, we will be able to gravity feed water to $\frac{2}{3}$ of our south facing slope and orchard. All the water used on the property will stay within the Garrity Creek watershed to regenerate the spring. We will continue to record water-flow rates of our spring and test for evidence-based water conservation data to ensure we are having positive impacts on our local watershed.

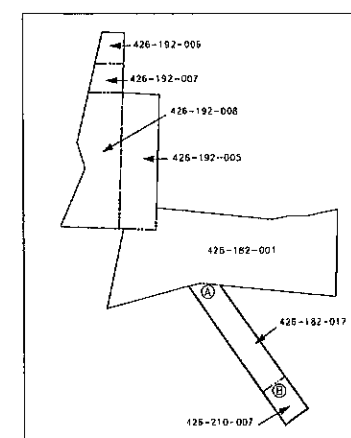
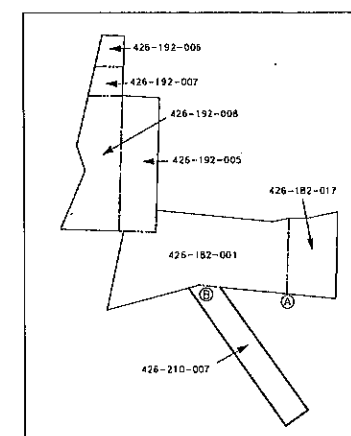
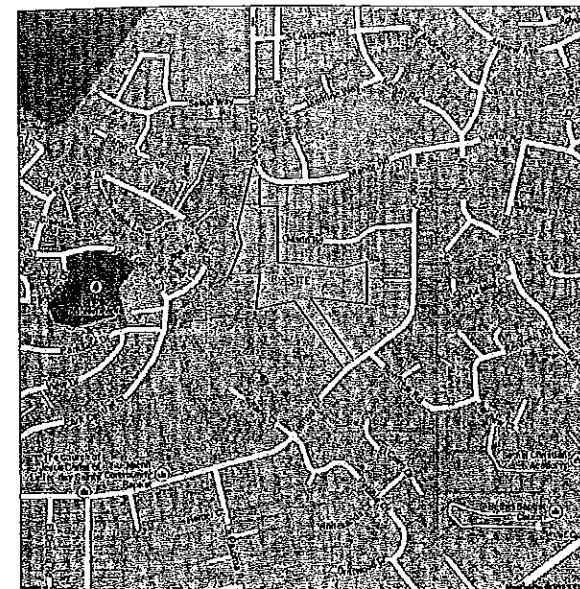
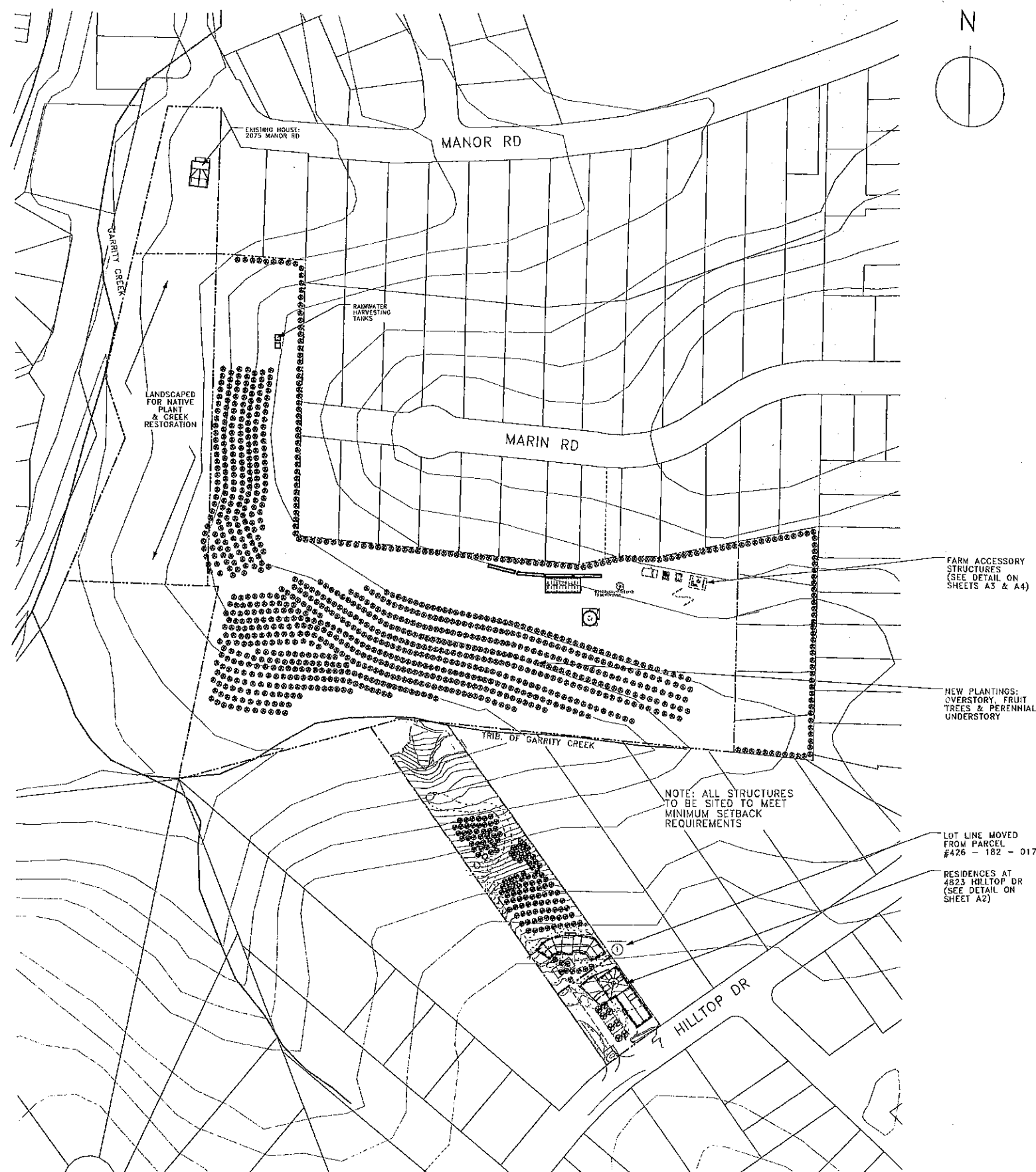
Another innovative source for irrigation water on our farm is our neighbor's roofs! Atop the south facing slope, we will construct a low-profile, long and skinny concrete rainwater storage tanks. We have many supportive neighbors who have already expressed their willingness to allow us to redirect water in their downspouts away from stormdrains and towards our water storage tanks and trees. This strategy will improve the stormwater impact of our community at large and serve as a source for emergency water in times of emergency, earthquakes, and severe drought. Such practices will add to the resiliency of our neighborhood and community at-large.

And least exciting - we will have a regular EBMUD water hookup at the top of the 5 acre farm, to satisfy any remaining water needs we may have.

URBAN FARM

Our farm will produce organic fresh food to be shared and sold off-site through retail outlets, farmers' market stands, restaurants, and though a neighborhood CSA box delivered directly to the adjacent community residents at various drop-off points (potentially churches and schools in the area). The majority of farm activities will take place on the "South Facing Slope" parcel (currently parcel #). Phase one (2014-2015) includes the following: 1) setting up irrigation and rainwater harvesting infrastructure; 2) installing a greenhouse over 300 sq. feet for seed-saving and the propagation of important edible plants that excel in our climate and are resilient to climate change; 3) installing a yurt and open-air covered work-space for shade and comfort; and 4) installing the beginnings of a sustainable, edible landscape with fruit trees, berries, flowers, and native plants that will create habitat for important pollinator species, provide healthy food for the community, and create space to learn and celebrate solutions for a more sustainable planet. In 2015, phase two of the farm build-out will see the construction of additional food storage structures and the storage barn as pictured, the construction of a small solar-powered refrigeration structure, and additional plantings.

We anticipate just 2-3 full-time workers on the farm Monday-Friday, and these workers will likely be residents on the land. An additional 2-3 part-time workers may be needed 3 days per week during harvest times, and these workers may also live on the land, or they may be picked up from BART by our resident farm manager. During harvest times, on average, we anticipate just 1-2 pickup trucks arriving and departing just once each day, 3 days/week. No trucks larger than pick-up trucks will be necessary for any of our regular farm tasks. All told, the traffic impact of the farm will be minimal. The primary impact of our farm will be to increase the cohesion, inspiration, health, well-being, sustainability, and resiliency of our local community, and we can't wait to get started!



GENERAL INFORMATION

OWNER/CONTACT: WILD & RADISH LLC
DESCRIPTION OF WORK:

TALLY OF TREES TO BE REMOVED

- TALLY OF TREES
- 1: 11" PEAR
 - 2: 6" PLUM
 - 3: 9" PLUM
 - 4: 12" PLUM
 - 5: 10" PINE
 - 6: 14" PINE
 - 7: 10" PINE
 - 8: 11" PINE
 - 9: 16" CEDAR
 - 10: 10" CEDAR
 - 11: 15" CEDAR
 - 12: 12" EUCALYPTUS

SHEET INDEX

- A1 GENERAL INFORMATION, VICINITY MAP, SITE PLAN
A2 HILLTOP RESIDENCE PLANS & ELEVATIONS
A3 FARM STRUCTURES: PLANS & ELEVATIONS
A4 FARM STRUCTURES CONTINUED

GENERAL NOTES FOR CONTRACTOR

1. ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION INSPECTION, AND ACCEPTANCE OF HER/HIS WORK BY OWNER.
2. THE GENERAL CONTRACTOR SHALL CALL FOR ALL ARCHITECTURAL, STRUCTURAL, AND GOVERNMENTAL, INSPECTIONS AS REQUIRED AND CALLED FOR BY THESE SPECIFICATIONS, INCLUDING SPECIAL INSPECTION REQUIRED BY SOILS REPORT.
3. ALL MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS, TRADE ASSOCIATION RECOMMENDATION AND AS DESCRIBED IN THESE DRAWINGS AND IN SPECIFICATIONS.
4. SUBSTITUTIONS OF MATERIALS, MANUFACTURERS, OR EQUIPMENT, AND CHANGES TO DIMENSIONS OR DETAILS IN THESE DRAWINGS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT.
5. CONTRACTOR TO COMPARE ARCHITECTURAL DRAWINGS TO ALL THE STRUCTURAL AND SUPPLEMENTAL DRAWINGS AND NOTIFY THE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION.
6. ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS ARE TO FACE OF FINISH, DOORWAYS ARE DIMENSIONED BY PANEL SIZE, AND WINDOWS ARE DIMENSIONED BY UNIT SIZE UNLESS OTHERWISE NOTED.
7. WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALED DIMENSIONS AND LINE DRAWINGS. DO NOT SCALE DRAWINGS.
8. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN WRITTEN DIMENSIONS AND FIELD MEASURED DIMENSIONS.
9. ALL CONSTRUCTION TO COMPLY WITH THE 2010 CALIFORNIA RESIDENTIAL CODE BASED ON THE 2008 INTERNATIONAL RESIDENTIAL CODE, THE 2010 CALIFORNIA PLUMBING CODE BASED ON THE 2005 UNIFORM PLUMBING CODE BY IAPMO, THE 2010 CALIFORNIA MECHANICAL CODE BASED ON THE 2008 UNIFORM MECHANICAL CODE, THE 2010 CALIFORNIA ELECTRICAL CODE BASED ON THE 2008 NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE SECTIONS OF THE CITY OF EL SOBRANTE AND CONTRA COSTA COUNTY BUILDING CODE, AND THE MOST RECENTLY ADOPTED EDITION OF THE CALIFORNIA BUILDING AND ENERGY CODES.

COMMON ABBREVIATIONS

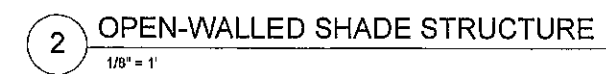
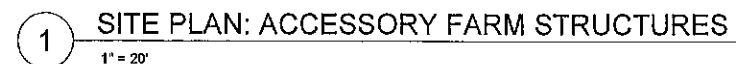
ABV	ABOVE
APPROX	APPROXIMATE
AVG	AVERAGE
B	AT
BLOO	BUILDING
BELOW	BELOW
BTW	BETWEEN
CL	CENTER LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
DM	DIAMETER
DIM	DIMENSION
DS	DOWNSPOUT
DR	DOOR
E	EXISTING
EXT	EXTERIOR
FF	FINISH FLOOR
GF	FACE OF FINISH
FOS	FACE OF STUD
GAL	GALLONS
GPLV	GALVANIZED
GP	GALLONS PER FLUSH
Q	GALLONS PER MINUTE
GSM	GALVANIZED SHEET METAL
INT	INTERIOR
LOC	LOCATION
MAX	MAXIMUM
MIN	MINIMUM
N	NEW
NTS	NOT TO SCALE
RO	PROPERTY LINE
RO	ROUGH OPENING
SD	STRUCTURAL DRAWING
SS	STEEL STEEL
S8	SEE STRUCTURAL DRAWINGS
TYP	TYPICAL
UCN	UNLESS OTHERWISE NOTED
VF	VERIFY (INFIED)
WI	WITH
WDOV	WINDOW
WLI	WILDLAND URBAN INTERFACE

LEGER WANASELJA ARCHITECTURE
2320 mcgee avenue berkeley, ca 94703
ph 510 . 848. 8901 fax 510 . 848 . 8908
www.greenwellings.com

**WILD AND RADISH
4823 HILLTOP DRIVE
EEL SOBRANTE, CA 94803**

CONFESSIO
COUNTY

REVISIONS	DATE
Date	12.1.2013
Drawn	CL/NM
Sheet	

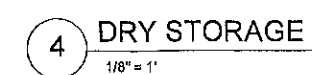


FARM ACCESSORY STRUCTURES

OPEN-WALLED SHADE STRUCTURE	
BUILDING FOOTPRINT:	375 SQ FT
TOTAL BUILDING SQ FOOTAGE:	375 SQ FT
NONPERMEABLE AREA:	875 SQ FT
MAX HEIGHT:	16'

REFRIGERATED STORAGE	
BUILDING FOOTPRINT:	118 SQ FT
TOTAL BUILDING SQ FOOTAGE:	118 SQ FT
NONPERMEABLE AREA:	238 SQ FT
MAX HEIGHT:	15'

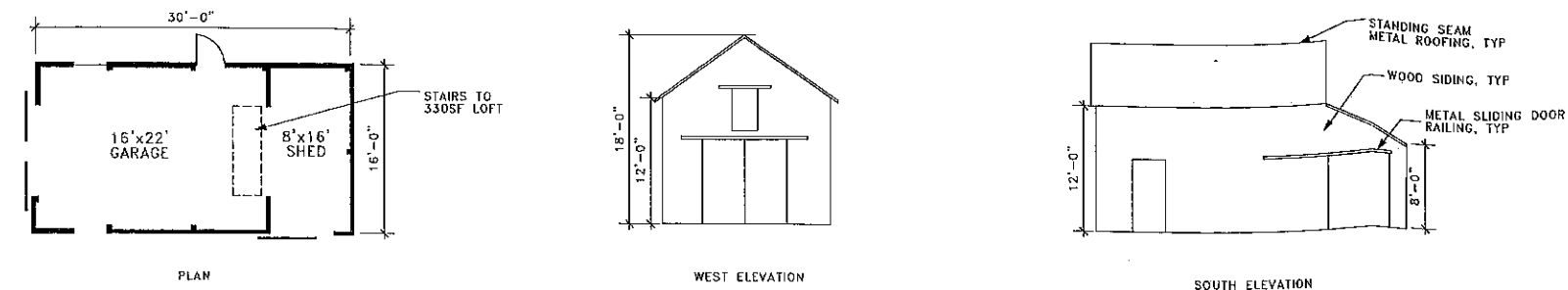
DRY STORAGE:	
BUILDING FOOTPRINT:	118 SQ FT
TOTAL BUILDING SQ FOOTAGE:	118 SQ FT
NONPERMEABLE AREA:	238 SQ FT
MAX HEIGHT:	15'



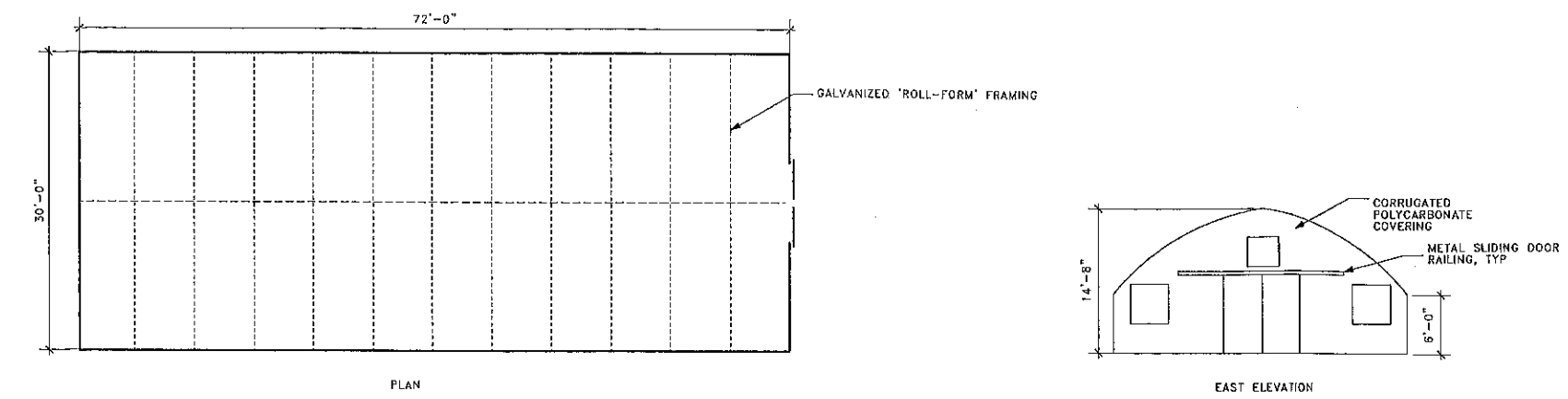
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Date	12.1.2013
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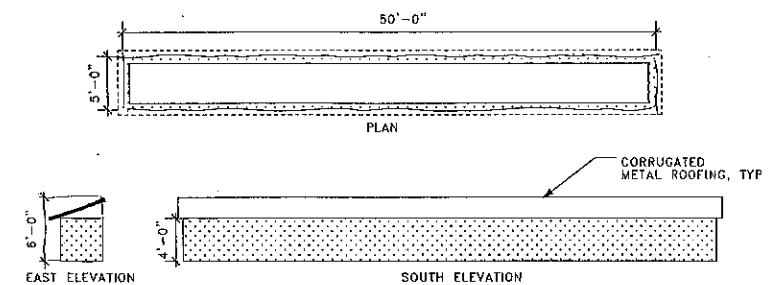
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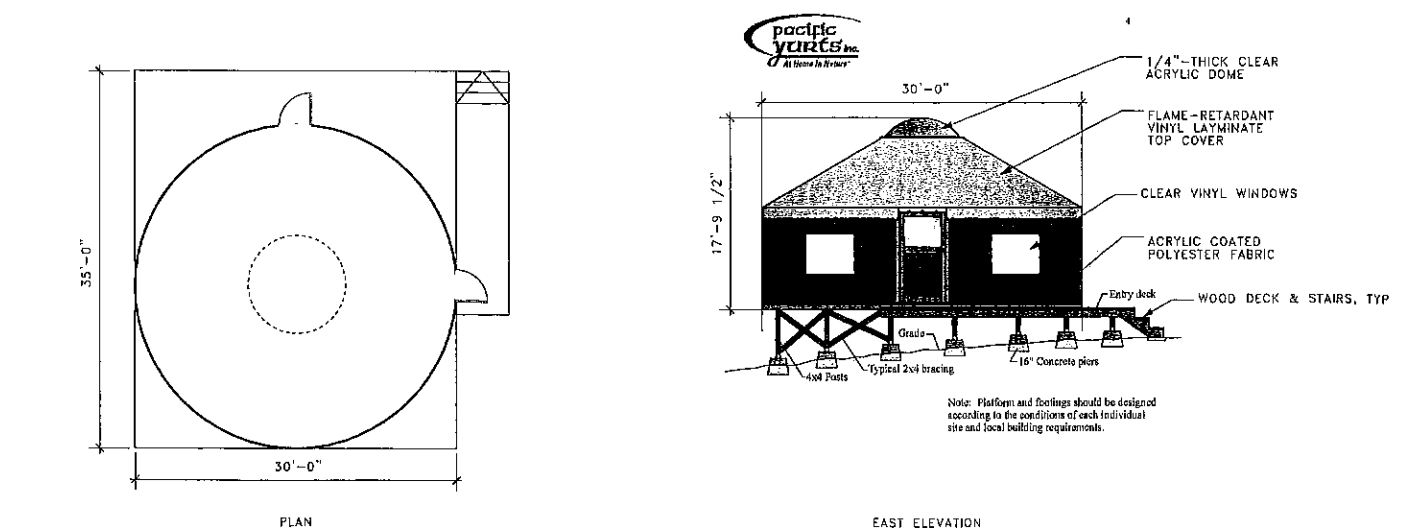
1 STORAGE BARN
1/8" = 1'



2 GREENHOUSE
1/8" = 1'



4 CONCRETE RAINWATER STORAGE TANK WITH SHED ROOF
1/8" = 1'



3 YURT
1/8" = 1'

FARM ACCESSORY STRUCTURES CONT'D

STORAGE BARN	
BUILDING FOOTPRINT:	480 SQ FT
TOTAL BUILDING SQ FOOTAGE:	810 SQ FT
NONPERMEABLE AREA:	480 SQ FT
MAX HEIGHT:	18'
GREENHOUSE	
BUILDING FOOTPRINT:	2,160 SQ FT
TOTAL BUILDING SQ FOOTAGE:	2,160 SQ FT
NONPERMEABLE AREA:	2,160 SQ FT
MAX HEIGHT:	15'
YURT	
BUILDING FOOTPRINT:	1,050 SQ FT
TOTAL BUILDING SQ FOOTAGE:	707 SQ FT
NONPERMEABLE AREA:	1,050 SQ FT
MAX HEIGHT:	25'
(4) RAINWATER STORAGE TANKS	
BUILDING FOOTPRINT:	180 SQ FT
TOTAL BUILDING SQ FOOTAGE:	180 SQ FT
NONPERMEABLE AREA:	1,224 SQ FT
MAX HEIGHT:	6'

LEGER WANASELJA ARCHITECTURE
2320 mcgee avenue berkeley, ca 94703
ph 510 . 848 . 8901 fax 510 . 848 . 8908
www.greenwellings.com

WILD AND RADISH
4823 HILLTOP DRIVE
EL SOBRANTE, CA 94803

REVISIONS	DATE
Date	12.1.2013
Drawn	CLNM
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D.I. 2A

Date 5/12/14

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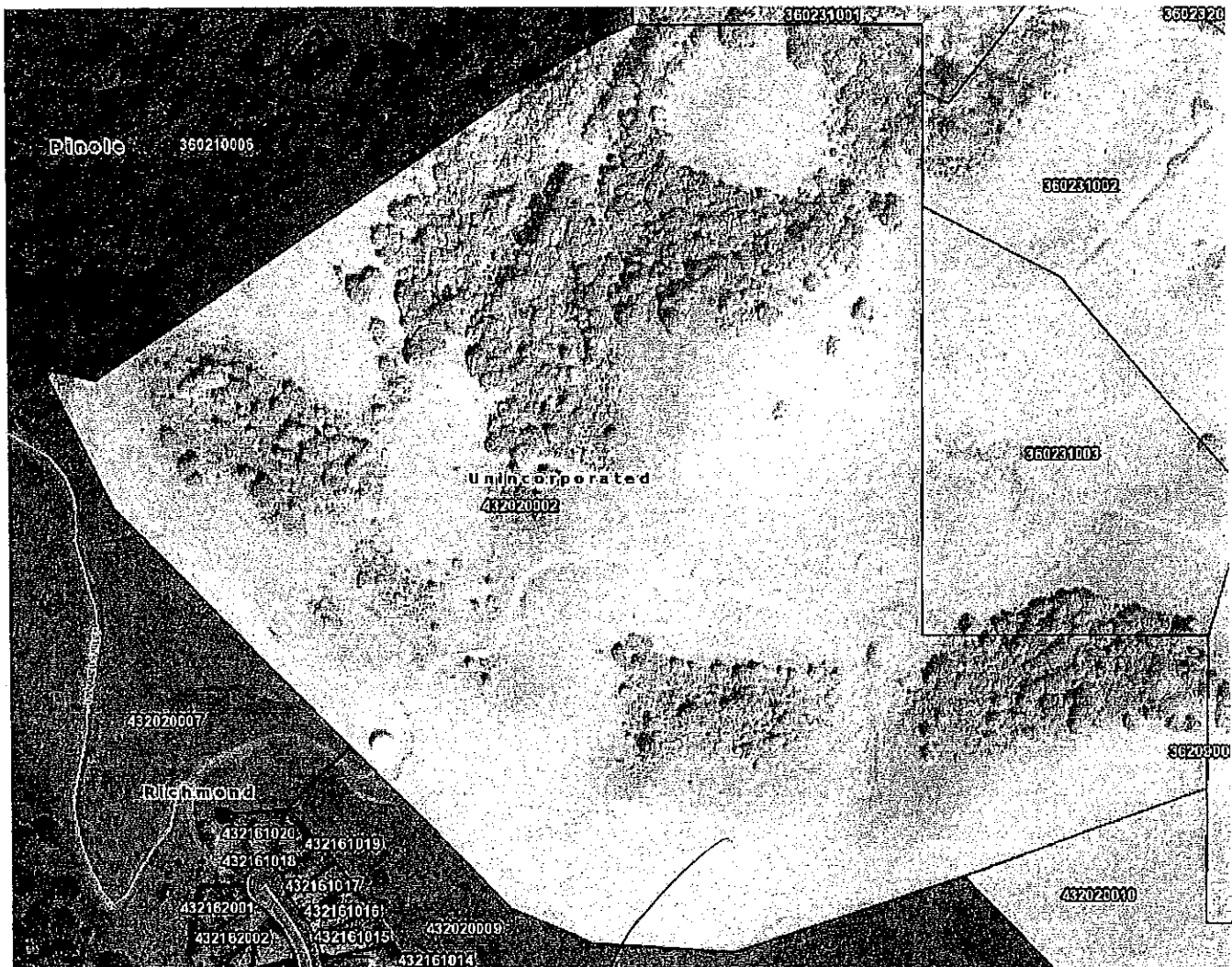
CONTRA COSTA COUNTY
Department of Conservation & Development
Community Development Division

2014 MAY 12 PM 2:34

LAND USE PERMIT APPLICATION				
TO BE COMPLETED BY OWNER OR APPLICANT				
OWNER		APPLICANT		
Name EAST BAY MUNICIPAL UTILITY DISTRICT		Name JAMES PHILLIPS/AT&T		
Address 375 11TH STREET		Address 2017 OPPORTUNITY DR., STE #4		
City, State/Zip OAKLAND, CA 94623		City, State/Zip ROSEVILLE, CA 95678		
Phone 510-287-1245 email phoover@ebmud.com		Phone 530-333-5786 email jphillips@westower.com		
By signing below, owner agrees to pay all costs, including any accrued interest, if the applicant does not pay costs. <input checked="" type="checkbox"/> Check here if billings are to be sent to applicant rather than owner.		By signing below, applicant agrees to pay all costs for processing this application plus any accrued interest if the costs are not paid within 30 days of invoicing.		
Owner's Signature: <i>[Signature]</i> 4/2/14		Applicant's Signature: _____		
CONTACT PERSON (optional)		PROJECT DATA		
Name NATASHA M. CASANARES		Total Parcel Size: 75.43 Ac		
Address 1320 WILLOW PASS ROAD, SUITE 500		Proposed Number of Units:		
City, State/Zip CONCORD, CA 94520		Proposed Square Footage: 54		
Phone 510-334-7263 email ncasanares@westower.com		Estimated Project Value: \$50,000		
Project description (attach supplemental statement if necessary): APN: 432-020-002				
Install New Backup Hydrogen Fuel Cell System to be mounted on New Concrete Pad (6'-0"x9'-0")				
Install New Power to run from Backup Fuel System to Existing AT&T equipment.				
<div style="display: flex; justify-content: space-between;"> ↓ FOR OFFICE USE ONLY ↓ FOR OFFICE USE ONLY ↓ FOR OFFICE USE ONLY </div>				
Project description:				
Applicant requests approval of a land use permit to modify an existing telecommunications facility approved under LP08-2018, to add a hydrogen fuel cell backup system and associated equipment.				
Property description: Lot is parcel # 2, portion of lot 8, 9, 10 & 11 of Rancho El Sobrante				
Ordinance Ref.:	TYPE OF FEE	FEE	CODE	Assessor's #: 432-020-002
Area: El Sobrante	*Base Fee/Deposit	\$2700	S-	Site Address: End of Coach Drive
Fire District: Contra Costa Fire	Late Filing Penalty (+50% of above if applicable)		S-066	Zoning District: A-2
Sphere of Influence:	1/2% est. value over \$100,000		S-029	Census Tract: 3601.00
Flood Zone: X	#Units x \$195.00		S-014	Atlas Page: H-7 H-8 J-7 J-8
Panel Number:	Notification Fee	15.00 / 30.00	S-052	General Plan: WS
x-ref Files: LP08-2018	Fish & Game Posting (if not CEQA exempt)	75.00	S-048	LP/DP Combination: YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
	Environmental Health Dept.	57.00	5884	Supervisory District: 1
	Other:			Received by: S. Gong
Concurrent Files:	TOTAL	\$ 2862		Date Filed: 5/12/14
LP13-2034	Receipt	# CD14-006422		File #LP 14-2025
(mod. to LP05-2059)	*Additional fees based on time and materials will be charged if staff costs exceed base fee.			

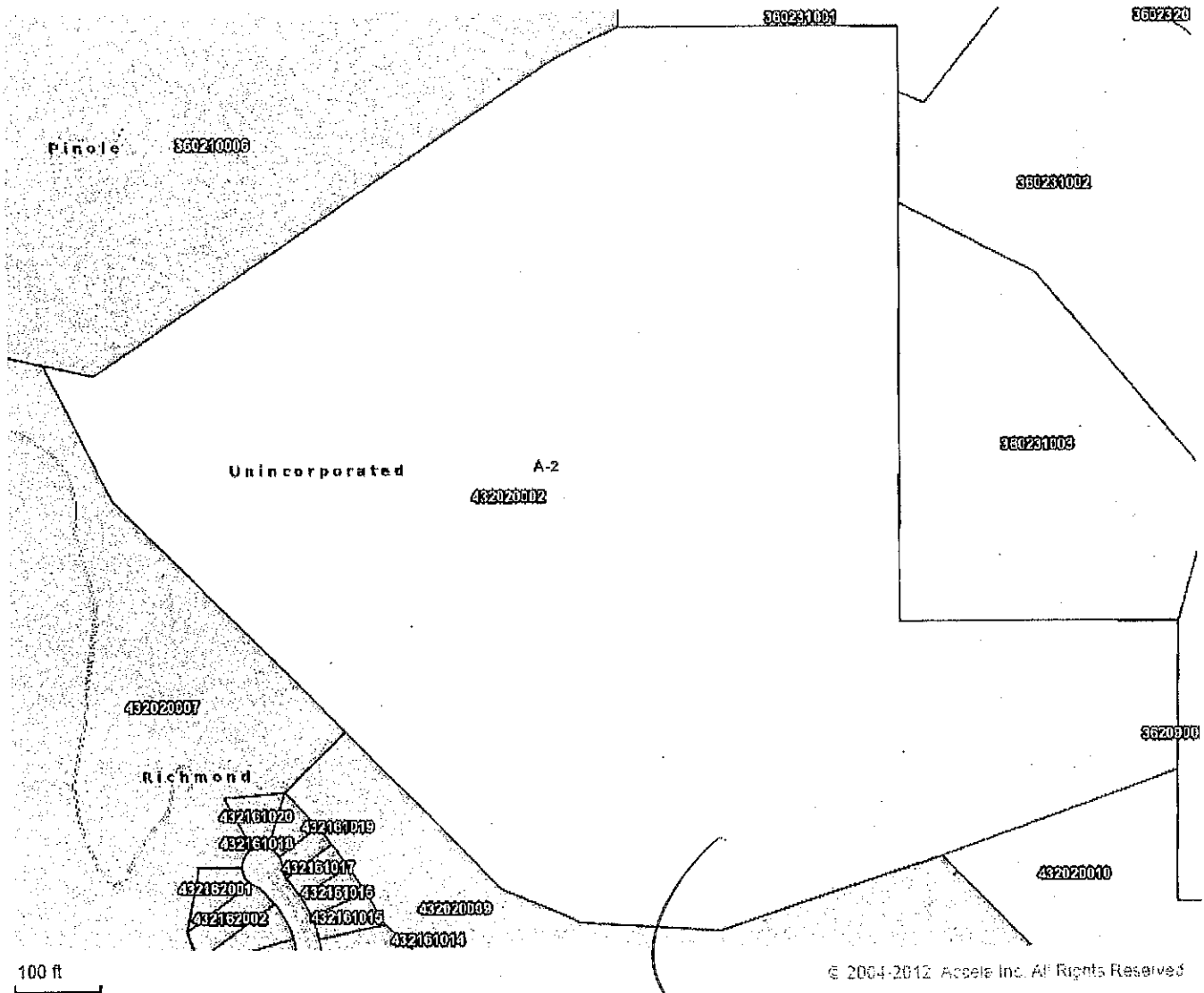
INSTRUCTIONS ON REVERSE

Aerial Photo

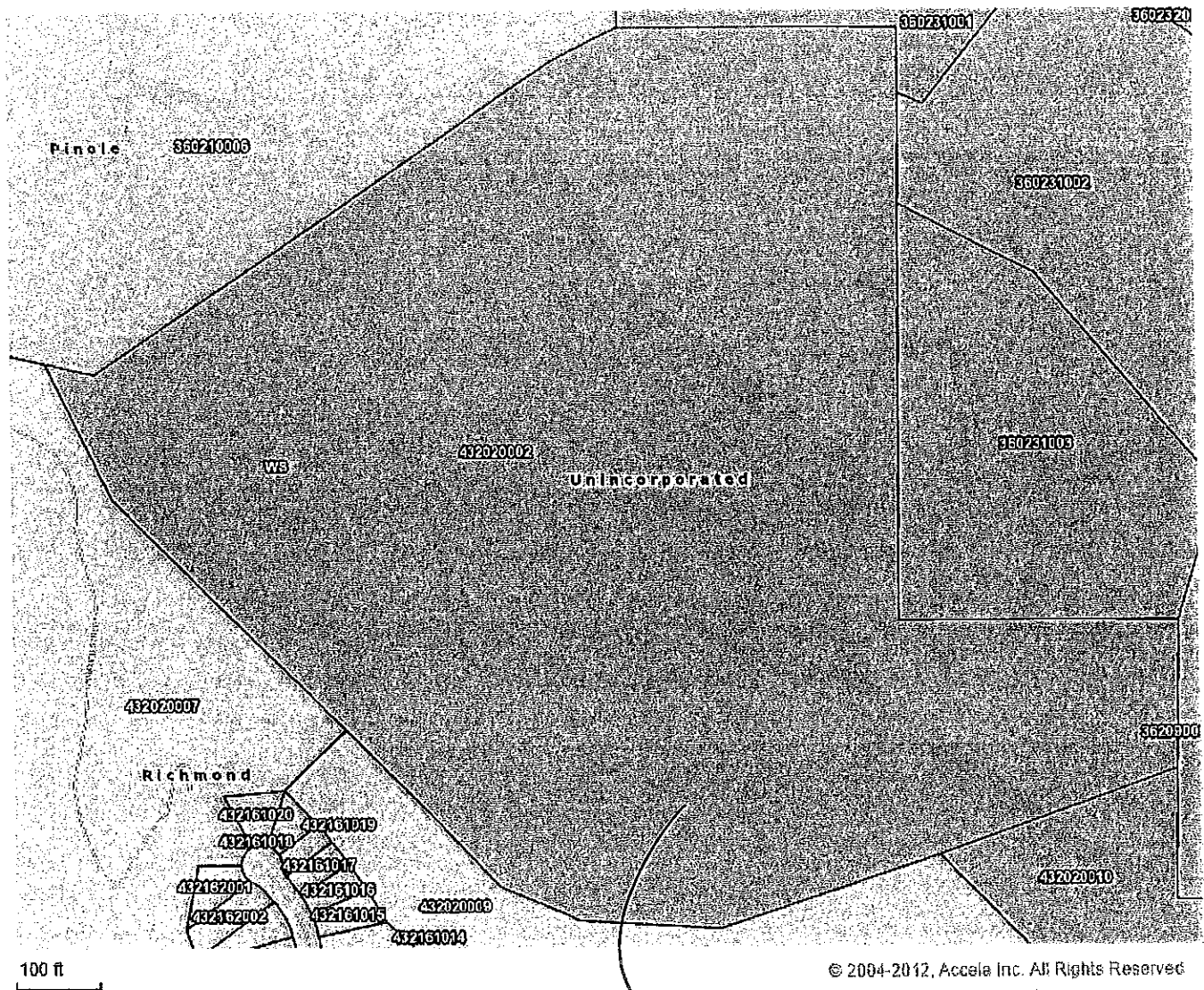


Site

Zoning: A-2



General Plan: Watershed



Site

TAX CODE AREA

LOT 8,9,10 & 11 RANCHO
EL SOBRANTE

86 ROLL-A-POL. A TRACT 6485 M.B. 293-30

LP00-2054
LP01-2117
LP05-2059
CML2-0001 (CML2) A-2, WS

02 EBMUD
73.4 AC

LP08-2018
LP13-2034 (A Tr)
LP14-2025

P.B.
362

TOWN OF
PINOLE

CITY OF
RICHMOND

CT. 3601.00
RANCHO

EBMUD

CT. 3601.00

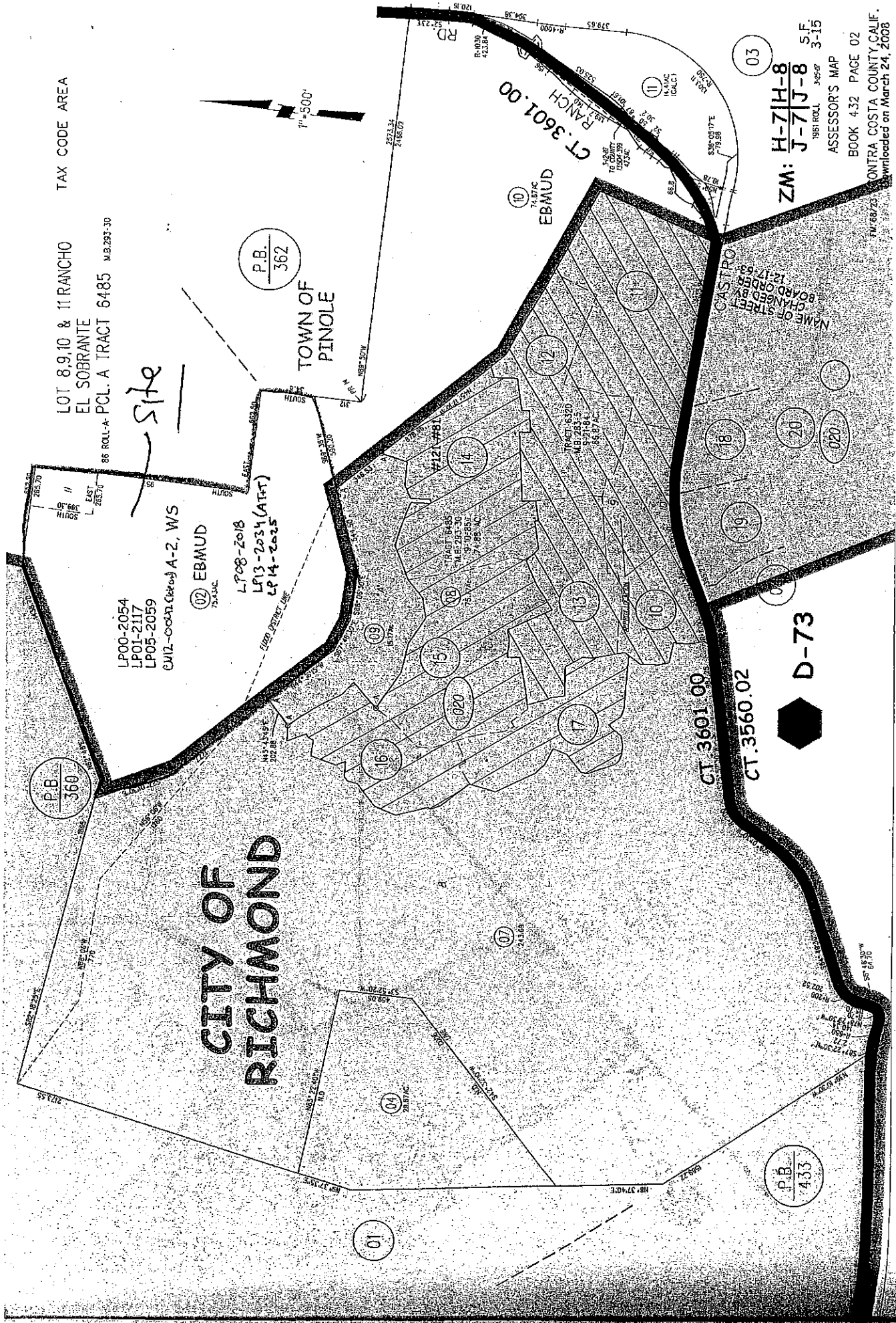
CT. 3560.02

D-73

ZM: H-7/H-8
J-7/J-8
S.F.
1981 ROLL 3-5-87
ASSESSOR'S MAP

BOOK 432 PAGE 02

CONTRA COSTA COUNTY, CALIF.
Downloaded on March 24, 2008



at&t



MT²
TELECOM, LP
1015-B AIRPORT ROAD
P.O. BOX 458
RIO VISTA, CA 94571
PHONE: (707) 374-5075
FAX: (707) 374-6194

STAMP:

CHECKED BY: RMONTANEZ

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SHEET TITLE

TITLE SHEET

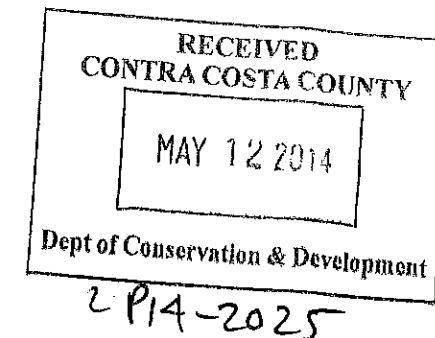
SHEET NUMBER

T-1

JOB #: WD3112 PHASE #: 6

SITE NAME: COACH DR

HYDROGEN FUEL CELL EMERGENCY BACK UP POWER SYSTEM INSTALLATION

[illegible]

VICINITY MAP

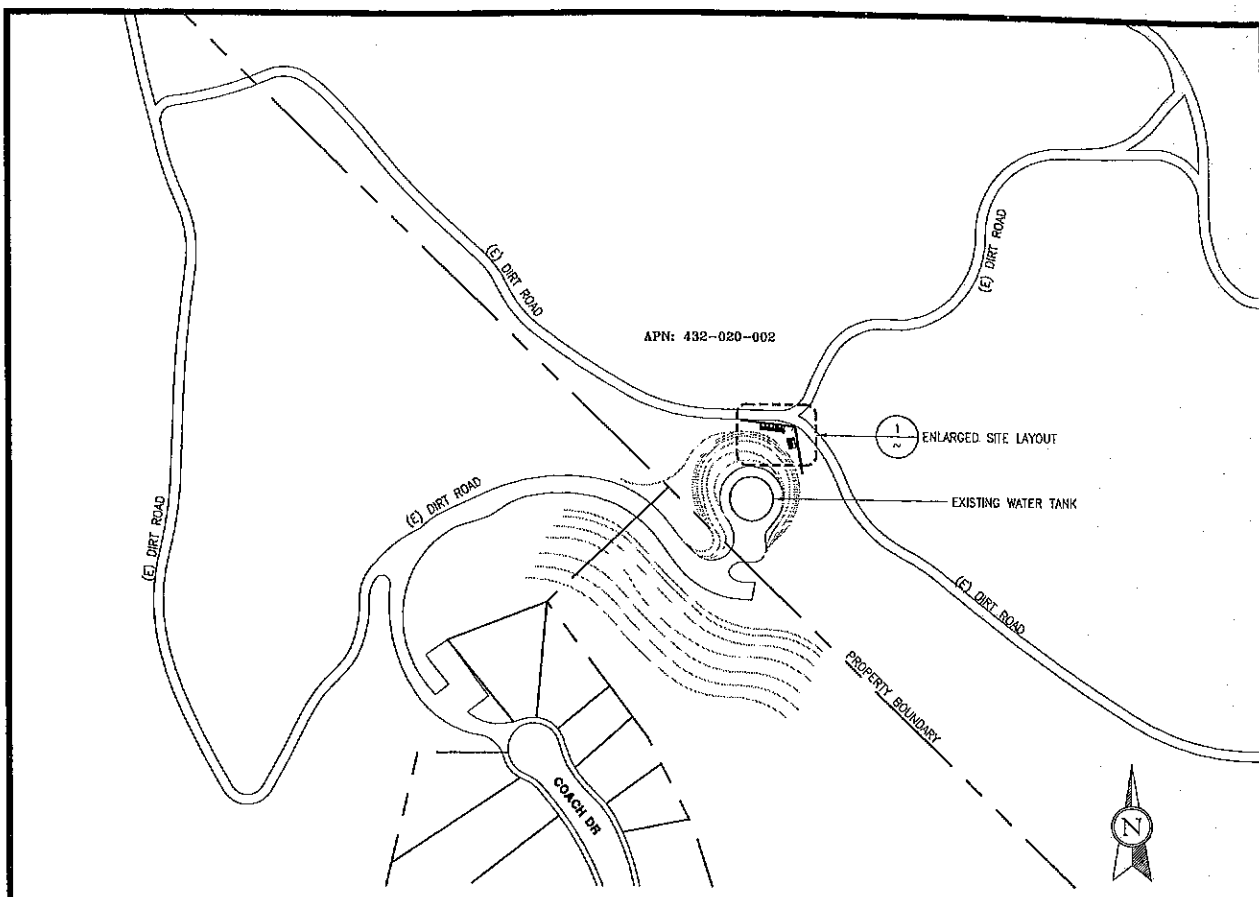
**DRIVING DIRECTIONS
(FROM NEAREST AIRPORT)**

FROM BUCHANAN FIELD AIRPORT
GET ON CA-4 W FROM PACHECO BLVD
TAKE THE PINOLE VALLEY RD EXIT FROM I-80
W CONTINUE ON PINOLE VALLEY RD, TAKE
ALJAMBRA VALLEY RD AND CASTRO RANCH RD
TO COACH DR IN RICHMOND TURN LEFT ONTO
PINOLE VALLEY RD TURN RIGHT ONTO CASTRO
RANCH RD TURN RIGHT ONTO CONESTOGA
WAY TURN LEFT ONTO CARRIAGE DR TURN
RIGHT ONTO COACH DR COACH DR

TOWER COORDINATES

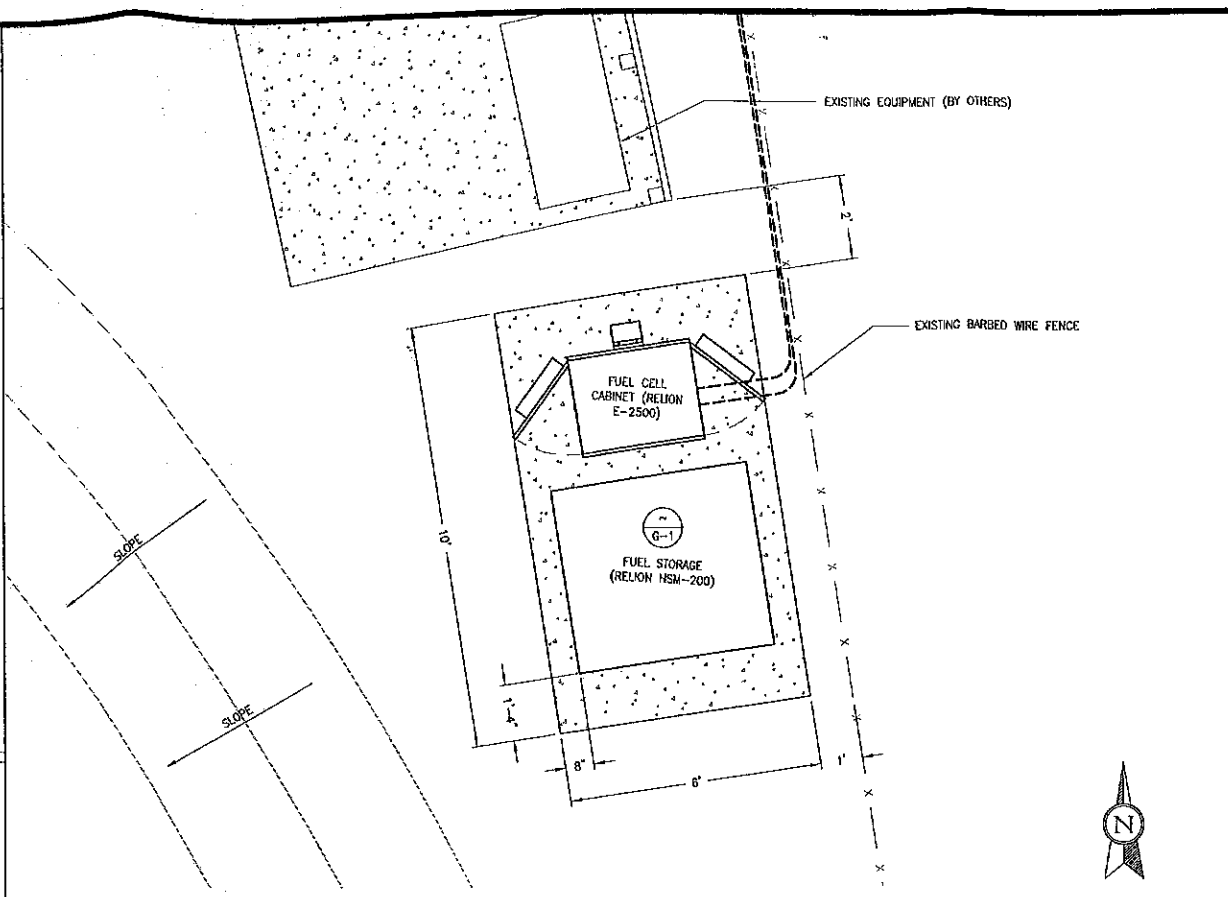
LATITUDE: 37° 58' 14.35"
LONGITUDE: -122° 15' 28.64"

The vicinity map shows the site location relative to Richmond, CA. The site is marked with a black dot and labeled 'SITE'. It is located at the intersection of Coach Dr and Carriage Dr. The map shows the following roads: Sobrante Ridge Rd (top right), Richmond (center), Coach Dr (left), Carriage Dr (bottom center), Conestoga Way (bottom left), Buckboard Way (bottom right), and Castro Ranch Rd (bottom right). A compass rose in the bottom right corner indicates North (N).



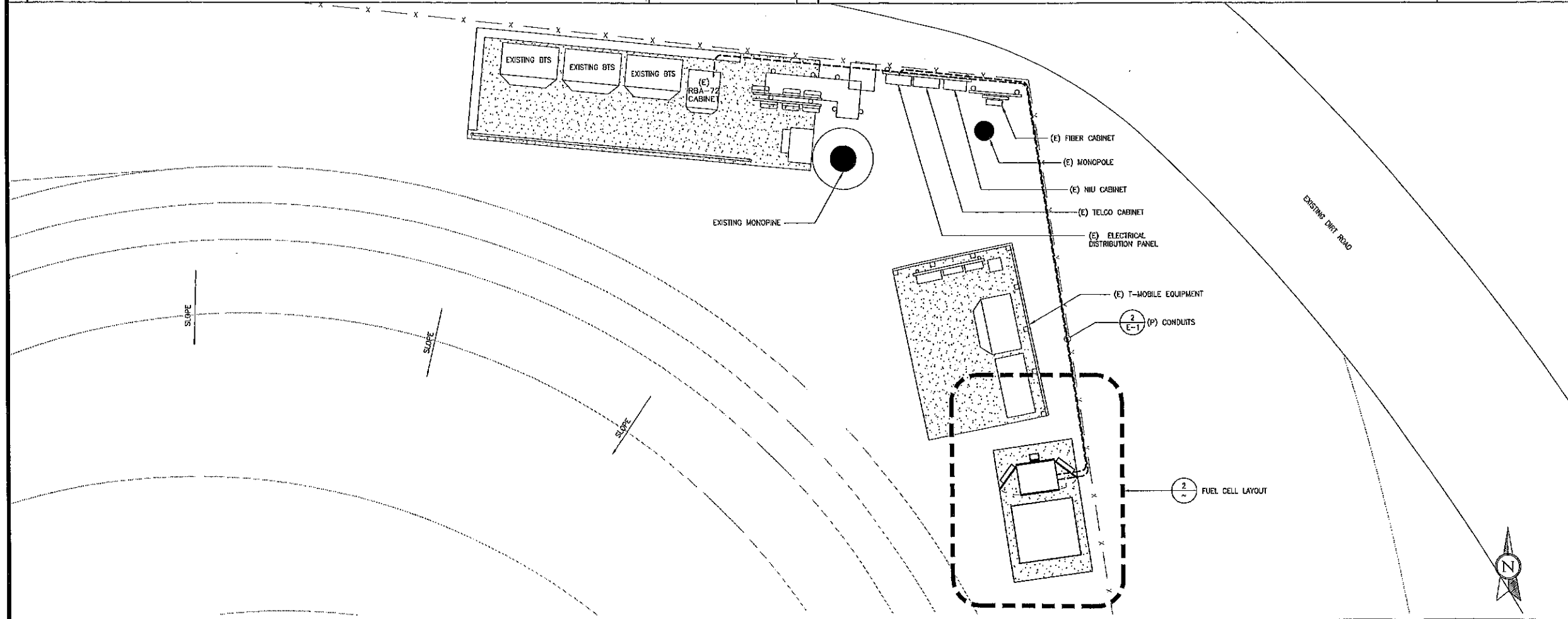
3 | OVERALL SITE PLAN

SCALE: 1" = 100'



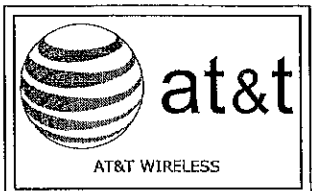
2 | FUEL CELL LAYOUT

SCALE: 1/2" = 1'-0"



1 | ENLARGED SITE LAYOUT

SCALE: 1/4" = 1'-0"



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COACH DR
FA10072664

END OF COACH DR
EL SOBRANTE, CA 94803

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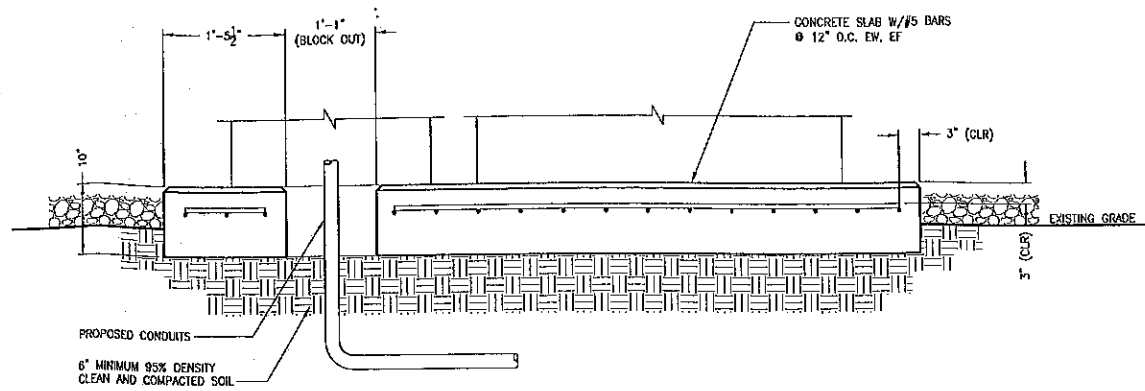
OVERALL AND
ENLARGED SITE LAYOUT

SHEET NUMBER

A-1

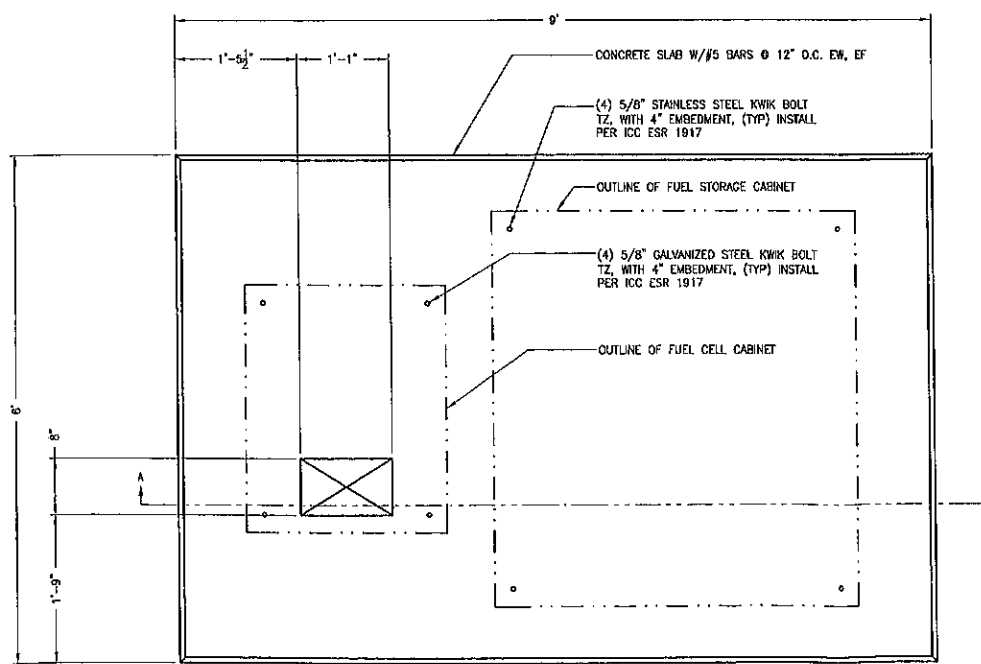
JOB #: WD3112 PHASE #: 6

1. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHODS STANDARDS ASTM C 172, ASTM C31 AND ASTM C39 UNLESS OTHERWISE NOTED.
2. CONCRETE FOR ALL FOUNDATIONS: TYPE 1 PORTLAND CEMENT, 540 LBS PER CUBIC YARD OF CONCRETE MINIMUM CEMENT CONTENT WITH 1" MAXIMUM SIZE AGGREGATE, SLUMP RANGE 3" TO 5", TOTAL AIR CONTENT 4% TO 7% BY VOLUME. AIR ENTRAINING ADMIXTURE REQUIRED TO CONTROL TOTAL AIR CONTENT. WATER REDUCING ADMIXTURE PERMITTED TO OBTAIN SLUMP OVER 3".
3. ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI 318-95) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND (ACI 301) STANDARD SPECIFICATION FOR THE STRUCTURAL CONCRETE.
4. REBAR SHALL BE ASTM A-615 DEFORMED TYPE WITH MINIMUM YIELD STRENGTH OF 60,000 PSI (40,000 PSI GRADE MAY BE USED FOR THE TIES & STIRRUPS). WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
5. DETAILING SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI STD-315-92).
6. CHAMFER ALL EXPOSED EDGES OF CONCRETE $\frac{1}{4}$ ".
7. REINFORCING STEEL SHALL ACCURATELY PLACED AND ACCURATELY SECURED IN POSITION. LOCATION OF THE REINFORCEMENT SHALL BE INDICATED ON THE DRAWINGS, EXCEPT AS NOTED ON DRAWINGS.
MINIMUM COVER (INCHES)
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH -- 3"
EXPOSED TO EARTH OR WEATHER:
#8 THROUGH #18 -- 2"
#5 AND SMALLER -- 1"
8. TOP OF FOUNDATION TO HAVE A "BRUSH FINISH".
9. EXPOSED FINISHED SURFACE IS NOT TO HOLD WATER.
10. ALL SURFACES ARE TO BE CLEANED OF ANY RESIDUAL CONCRETE FROM SPLASHING OR SPILLS.



4 NOTES

2 SECTION 'A-A'



3 NOT USED

1 CONCRETE PAD

SCALE: 1" = 1'-0"



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SHEET TITLE

FOUNDATION PLAN
AND DETAILS

SHEET NUMBER

S-1

JOB #: WD3112 PHASE #: 6

GROUNDING GENERAL NOTES

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. ALL EXTERIOR GROUNDING AND TOP OF GROUNDING RODS SHALL BE BURIED TO A MINIMUM DEPTH OF 1'-6" BELOW FINISH GRADE, ELECTRIC METER GROUND EXCEPTED.
3. ALL GROUNDING CONDUCTORS SHALL BE #2 SOLID BARE TINNED COPPER.
4. GROUND SYSTEM MUST BE INDEPENDENTLY TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. SUBMIT AN INDEPENDENT FALL OF POTENTIAL TESTING REPORT.
5. NOTIFY PROJECT MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
6. CHEMICAL GROUNDS SHALL BE XIT, CHEM-ROD OR APPROVED EQUAL, WHEN REQUIRED. USE MUST BE APPROVED BY PROJECT MANAGER.
7. ALL UNDERGROUND GROUNDING CONNECTORS ARE TO BE CADWELDED ABOVE GRADE. GROUNDING SHALL BE EITHER CADWELD OR MECHANICAL, AS SPECIFIED ON DRAWINGS.
8. ALL GROUNDING INSTALLATION IS TO BE IN ACCORDANCE WITH THE NEXTEL STANDARD SPECIFICATIONS AND SUPPLEMENTS PROVIDED BY THE PROJECT MANAGER.
9. GROUNDS ARE TO BE INSTALLED A MINIMUM OF 2'-0" FROM SHELTER OR MONOPOLE.
10. GATE GROUNDING FLEX CONNECTOR: REF. "CADWELD" CATALOG #AQ402 FOR GATE/POST FLEX CONNECTOR (EXAMPLE: PART NO. A239FC25-Y-XL FOR 3" POST).

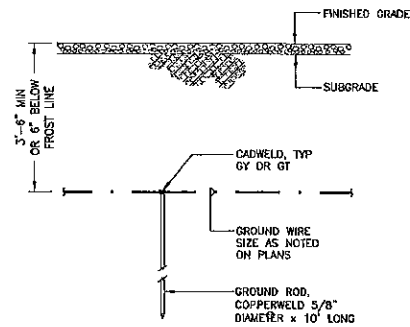
GROUNDING GENERAL NOTES

1. FOR GENERAL NOTES AND SPECIFICATIONS SEE DWG SP-1
2. ATS SHALL BE ATTACHED TO SHELTER WALL USING HILTI KWIK BOLTS. (DIAMETER AND QUANTITY TO SUIT EQUIPMENT MANUFACTURER INSTALLATION REQUIREMENTS) SEE DRAWINGS A-1 TO DETERMINE IF A NEW/ADDITIONAL ATS IS REQUIRED.

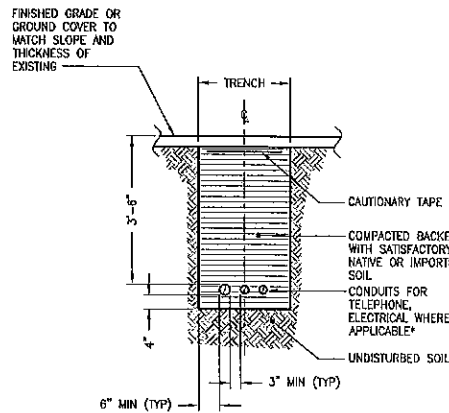
ELECTRICAL SYMBOLS LEGEND

- CADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- NEW GROUNDING
- - - EXISTING GROUNDING

6 GROUNDING GENERAL NOTES



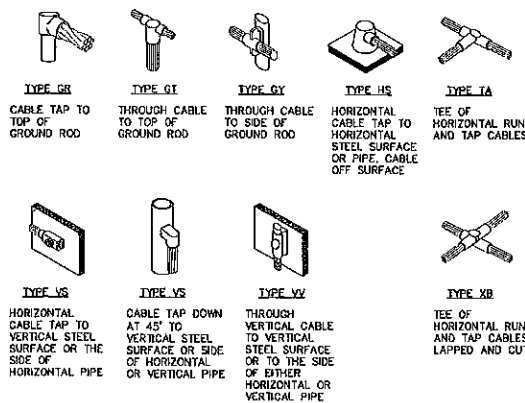
NOTE:
GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL



*CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

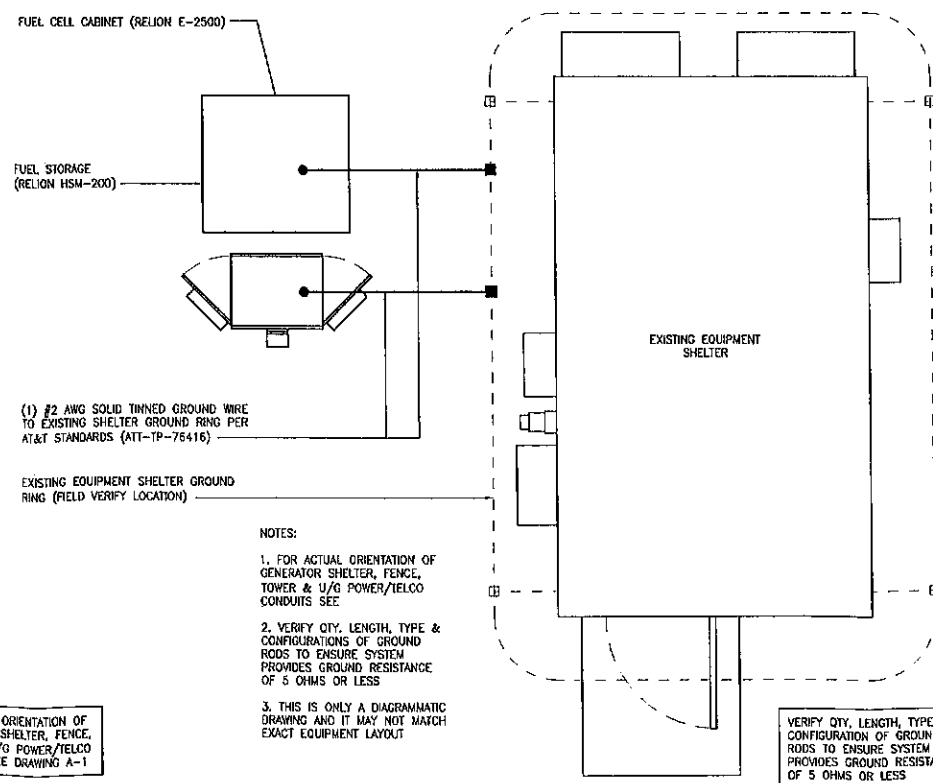
5 GROUND ROD

4 TRENCHING



3 CADWELDS

2 SINGLE LINE DIAGRAM



NOTE:
FOR ACTUAL ORIENTATION OF GENERATOR, SHELTER, FENCE, TOWER & U/G POWER/TELCO CONDUITS SEE DRAWING A-1

1 SCHEMATIC GROUNDING PLAN



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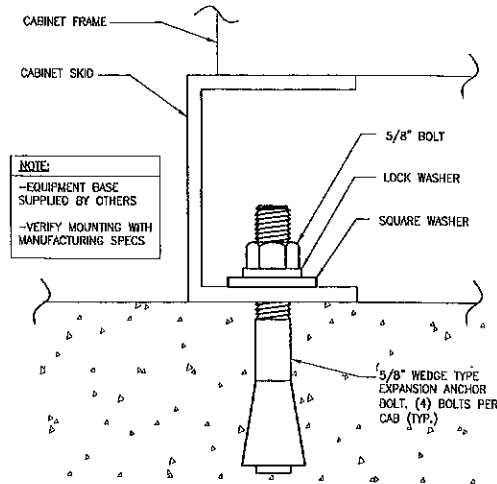
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SHEET TITLE
ELECTRICAL AND GROUNDING DETAILS

SHEET NUMBER
E-1

JOB #: WD3112 PHASE #: 6

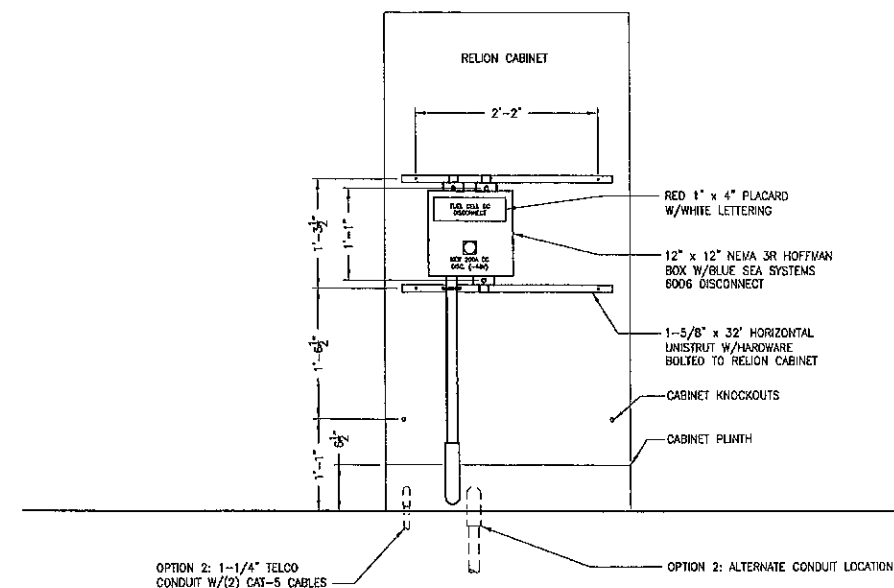
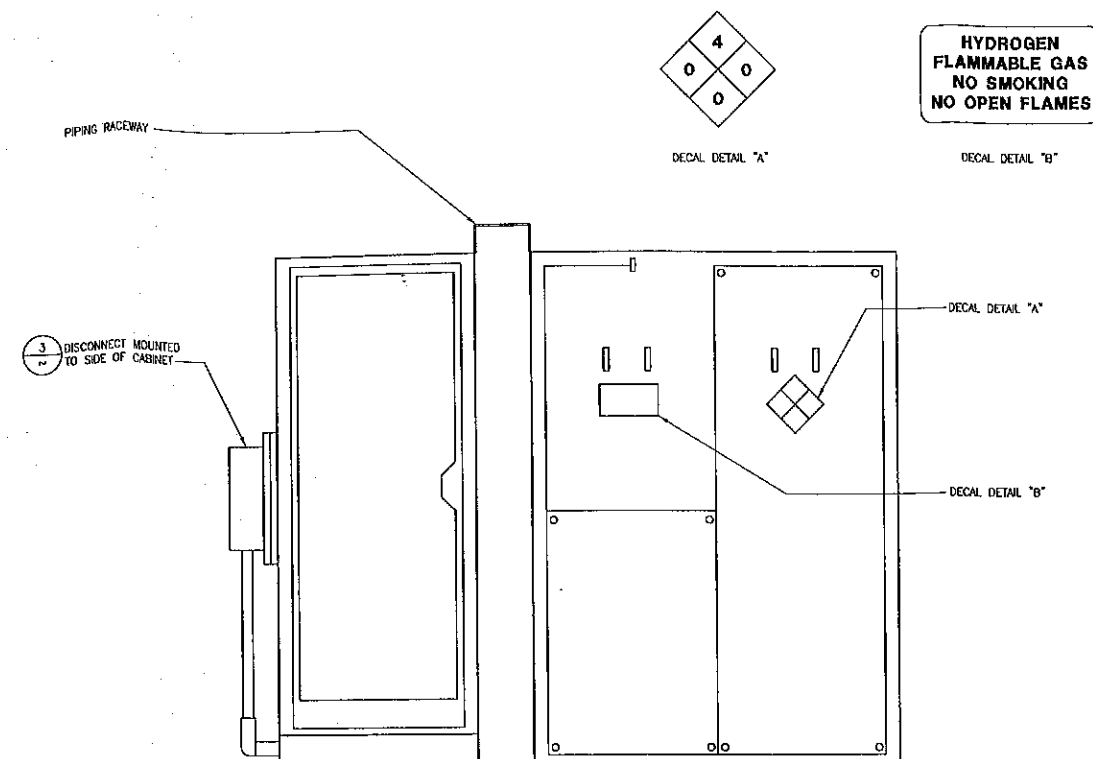


4 CABINET MOUNTING

SCALE: 1/2" = 1'-0"

2 FUEL CELL AND STORAGE TANK ELEVATION

SCALE: 1" = 1'-0"

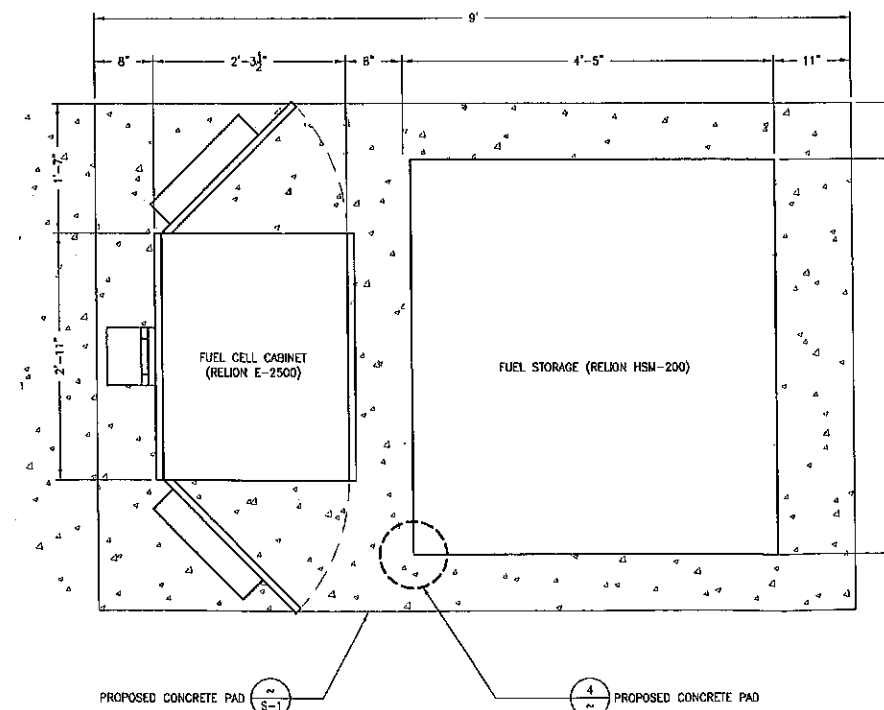


3 DISCONNECT MOUNTING

SCALE: 1" = 1'-0"

1 FUEL CELL AND STORAGE TANK PLAN VIEW

SCALE: 1" = 1'-0"



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SHEET TITLE

FUEL CELL AND
DETAILS

SHEET NUMBER

G-1

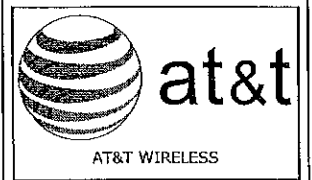
JOB #: WD3112 PHASE #: 6

GENERAL NOTES:

1. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE PORTABLE WATER OR SEWER SERVICE.
2. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS IS REQUIRED).
3. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH.
4. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS PROPOSAL.
5. CONTRACTOR WILL PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SAFETY EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY TO COMPLETE ALL THE WORK OUTLINED IN ALL DRAWINGS, SPECIFICATIONS, SCOPES OF WORK, BILL OF MATERIALS, AND ANY OTHER DOCUMENT ISSUED BY GENERAL DYNAMICS AND AWS.
6. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES, LAWS, ORDINANCES, REGULATIONS, SAFETY REGULATIONS, ALL OSHA REGULATIONS, ALL PUBLIC AND MUNICIPAL AUTHORITIES AND ANY UTILITY COMPANIES REGULATIONS AND DIRECTIVES.
7. ALL MATERIALS SUPPLIED BY THE OWNER, OWNER'S REPRESENTATIVE, AND THE CONTRACTOR, SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND NATIONAL CODES, LAWS, ORDINANCES, REGULATIONS AND PER MANUFACTURER'S RECOMMENDATIONS.
8. ANY CONTRACTOR SUBMITTING BIDS ON ANY OF THE WORK IS REQUIRED TO VISIT EACH SITE PRIOR TO BID SUBMITTAL AND FAMILIARIZE HIMSELF/HERSELF WITH THE EXISTING CONDITIONS AND UNDERSTAND THE SCOPE OF WORK INTENDED FOR THE PROJECT. THIS WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.
9. THE DRAWINGS AND SPECIFICATIONS ARE A GENERAL DIRECTIVE FOR THE SCOPE OF WORK. EXACT DIMENSIONS AND LOCATIONS MAY CHANGE IN THE FIELD. THE CONTRACTOR IS TO VERIFY THE DIMENSIONS AND LOCATIONS AND TO REPORT ANT AND ALL DISCREPANCIES TO GENERAL DYNAMICS PRIOR TO COMMENCING THE RELATED WORK. ANY MINOR ERRORS OR OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS DOES NOT EXCUSE THE CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
10. ALL SITES SHALL BE KEPT CLEAN AND FREE OF DEBRIS ON A DAILY BASIS. ALL TRASH AND MATERIALS NO LONGER BEING USED AT THE SITE MUST BE REMOVED AND PROPERLY DISPOSED OF ON A DAILY BASIS.
11. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK AT THE SITE PRIOR TO A NOTICE TO PROCEED (NTP) BEING ISSUED AND A PRE-CONSTRUCTION MEETING AT THE SITE HAVING TAKEN PLACE.
12. ALL WORK AND MATERIALS FURNISHED BY THE CONTRACTOR SHALL HAVE A WRITTEN ONE-YEAR WARRANTY STARTING AT THE ACCEPTANCE OF THE SITE FROM THE SITE OWNER.
13. THE CONTRACTOR SHALL HAVE A DESIGNATED MANAGER ON SITE AT ALL TIMES THAT ANY WORK IS BEING PERFORMED. A SUBCONTRACTOR IS NOT DEFINED AS A DESIGNATED MANAGER.
14. THE SUCCESSFUL CONTRACTOR SHALL PROVIDE SCHEDULE, LIST OF ALL SUBCONTRACTORS WITH ADDRESSES, CELL PHONE NUMBERS AND HOME PHONE NUMBERS, VERIFICATION OF INSURANCE, ANY AND ALL PERTINENT LICENSES AND AN ACCURATE SCHEDULE FOR THE PROJECT PRIOR TO THE ISSUANCE OF A NTP.
15. THE CONTRACTOR IS TO KEEP A COMPLETE AND UP TO DATE SET OF DRAWINGS, SPECIFICATIONS, SCOPE OF WORK AND BILL OF MATERIALS ON SITE AT ALL TIMES. THIS WILL BE REFERENCED AS THE AS-BUILT DRAWINGS AND MUST BE KEPT CURRENT ON A DAILY BASIS. THIS IS IN ADDITION TO THE PERMIT SET.
16. A NEW CLEAN SET OF CONTRACT DOCUMENTS WILL BE USED TO TRANSFER THE INFORMATION FROM THE FIELD COPY OF THE AS-BUILT DRAWINGS TO A NEW COPY. THIS NEEDS TO BE SUBMITTED TO GENERAL DYNAMICS WITH THE CLOSE OUT DOCUMENTS.
17. ON ANY CO-LOCATION SITE, THE CONTRACTOR AND ALL ASSIGNS ARE NOT TO USE EXISTING POWER OR TAMPER WITH ANY EQUIPMENT BELONGING TO ANY OTHER CARRIER. FAILURE TO ADHERE TO THIS WILL CAUSE IMMEDIATE DISMISSAL OF THE CONTRACTOR FROM THE PROJECT.
18. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS AND TESTING REQUIRED FOR EACH PROJECT. A 24-HOUR NOTIFICATION TO GENERAL DYNAMICS IS REQUIRED FOR ALL INSPECTIONS AND TESTING. A FIELD COPY OF ALL INSPECTIONS AND TESTING REPORT AS WELL AS TRUCK TICKETS MUST BE SUBMITTED TO THE OWNERS REPRESENTATIVE WITHIN 24-HOURS OF THE INSPECTION OR TEST.
19. THE CONTRACTOR IS THE RESPONSIBLE TO VERIFY ALL MATERIALS ISSUED TO THEM AND REPORT ANY SHORTAGES AND DISCREPANCIES TO GENERAL DYNAMICS AT THE TIME OF ISSUANCE. THE CONTRACTOR SHALL STORE THESE MATERIALS PROPERLY, ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND IN A MANNER THAT WILL NOT VOID THE WARRANTY ON ANY ITEM. IF ANY ITEM IS DAMAGED OR UNUSABLE DUE TO IMPROPER HANDLING AND STORAGE THE CONTRACTOR WILL REPLACE IT AT THEIR EXPENSE.
20. THE CONTRACTOR IS RESPONSIBLE TO FURNISH PROPER FACILITIES FOR THE WORKERS ON EACH PROJECT FOR THE DURATION OF THAT PROJECT.
21. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE PRESENT CONDITION OF ANY EXISTING BUILDINGS, LANDSCAPING, FENCING, EQUIPMENT, WALKS, DRIVE, AND ATTACHMENTS.. IF ANY DAMAGE SHOULD OCCUR, THE CONTRACTOR IS RESPONSIBLE TO RESTORE THE DAMAGE TO A BETTER OR NEW CONDITION.
22. THE GENERAL DYNAMICS REPRESENTATIVE RESERVE THE RIGHT TO RELOCATE ANY EQUIPMENT WITHIN 10 FT. OF THE LOCATION SPECIFIED ON THESE DRAWINGS PRIOR TO INSTALLATION BY THE CONTRACTOR.
23. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE GENERAL DYNAMICS REPRESENTATIVE.
24. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO CONFIRM LENGTHS OF CABLE TRAYS, AND ELECTRICAL LINES.
25. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN AND PAY FOR ALL ELECTRICAL PERMITS AND INSPECTIONS REQUIRED FOR COMPLETION OF WORK AND ACCEPTANCE. PROVIDE CERTIFICATES TO THE CONSTRUCTION MANAGER VERIFYING THAT THE WORK CONFORMS TO THE REQUIREMENTS OF ALL CODES AND AUTHORITIES HAVING JURISDICTION.
26. NO DEVIATIONS FROM DESIGN SHOWN ON THESE DRAWINGS IS ALLOWED, WITHOUT PRIOR WRITTEN APPROVAL FROM THE GENERAL DYNAMICS REPRESENTATIVE. FAILURE TO OBSERVE THIS RULE MAY RESULT IN THE CONTRACTOR CORRECTING THE INSTALLATION AT THEIR EXPENSE.
27. VERIFICATION THAT THE EXISTING ROOFTOP CAN SUPPORT THE PROPOSED ANTENNA LOADING IS TO BE DONE BY OTHERS. PROVIDE SUPPORT FOR THE ANTENNA CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS. ANTENNA CABLES ARE TO BE SUPPORTED AND RESTRAINED AT THE CENTERS SUITABLE TO THE MANUFACTURER'S REQUIREMENTS.
28. BCI WIRELESS, LLC OR ANY REGISTERED PROFESSIONAL ENGINEER EMPLOYED OR CONTRACTED BY BCI WIRELESS, LLC DOES NOT CERTIFY THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION CONTAINED HERIN UNLESS BCI WIRELESS, LLC HAS BEEN CONTRACTED TO PERFORM A STRUCTURAL ANALYSIS AND THEREBY ADDITIONAL DOCUMENTATION IS REQUIRED.

CONTRACTOR NOTES:

1. THE CONTRACTOR SHALL GRUB THE SITE AREA AND ANY ACCESS ROAD CLEARING AND REMOVE A MINIMUM OF 6" TO ACHIEVE A STABLE SUB-BASE TO ACCEPT FILL OR OTHER MATERIAL SPECIFIED FOR THE SITE AND ACCESS ROAD. THE GRUBBING SHALL BE REMOVED FROM THE SITE AND NOT REUSED IN ANY PART OF THIS PROJECT.
2. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO CALL THE LOCAL LOCATING AUTHORITIES TO VERIFY THE LOCATION OF ANY UNDERGROUND UTILITIES THAT EXIST WITHIN THE ENTIRE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND RELOCATION (AS NECESSARY) OF THE UNDERGROUND UTILITIES OR LINES. THE CONTRACTOR SHALL PLACE THESE ITEMS ON THE AS BUILT DRAWINGS.
3. ALL ROADWORK AND MATERIALS SHALL CONFORM TO ALL STATE AND LOCAL CODES AND IN ACCORDANCE WITH THE DEPARTMENT OF HIGHWAY AND PUBLIC TRANSPORTATION STANDARD SPECIFICATIONS.
4. THE ACCESS ROAD, IF REQUIRED, WILL BE CONSTRUCTED FIRST BEFORE ANY OTHER WORK ON THE SITE IS PERMITTED. BRING THEROAD TO SUB BASE COURSE TO ALLOW CONSTRUCTION TRAFFIC TO USE THE ROAD FOR THE PROJECT AND COMPLETE THE ROAD AFTER CONSTRUCTION OF THE SITE IS SUBSTANTIALLY COMPLETE.
5. ALL SITES AND ACCESS ROADS ARE TO BE CONSTRUCTED TO HAVE A POSITIVE DRAINAGE FLOW AWAY FROM THE SITE AND EQUIPMENT. ANY DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS MUST BE BROUGHT TO THE ATTENTION OF GENERAL DYNAMICS IMMEDIATELY. ALL ACCESS ROAD AND SITE AREAS WILL HAVE AN UNDERLAYMENT OF MIRAFI-500X, OR EQUAL.
6. A SOIL STERILIZER SHALL BE APPLIED TO ALL GRAVEL SURFACES AND BE EPA REGISTERED LIQUID COMPOSITION AND OF PRE-EMERGENCE DESIGN. THE PRODUCT LABEL AND INFORMATION WILL BE GIVEN TO GENERAL DYNAMICS.
7. SUB-BASE COURSE OF GRANULAR "B" MATERIAL SHALL CONSIST OF WELL GRADED SAND AND GRAVEL WITH NO MORE THAN 8% PASSING THROUGH #200 SIEVE WITH NO LESS THAN 35% RETAINED ON A #4 SIEVE. CONTRACTOR TO SUPPLY GRADUATION FOR REVIEW PRIOR TO PLACEMENT. BASE COURSE OF GRANULAR "A" MATERIAL SHALL CONSIST OF 3/4"CRUSHED SAND AND GRAVEL (ROAD MULCH) WITH NOT MORE THAN 8% PASSING THROUGH #200 SIEVE. CONTRACTOR TO SUPPLY GRADUATION FOR REVIEW PRIOR TO PLACEMENT.
8. ALL FILL DIRT SHALL BE CLEAN AND NATURAL. FREE FROM AN DELETERIOUS MATERIALS, ROOTS, ICE, SNOW AND RUBBISH. A COPY OF ALL DELIVERY TICKETS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN 24-HOURS FROM DELIVERY.
9. ALL TRENCHES SHALL HAVE A SIX-INCH BASE OF CLEAN SAND FILL TO ACCEPT THE CONDUITS AND THEN ANOTHER 12" OF CLEAN SAND FILL ON TOP OF THE CONDUITS. THE REMAINDER OF THE TRENCH SHALL HAVE A CLEAN COMPATIBLE FILL PLACED IN MAXIMUM LIFTS OF 8" AND MECHANICALLY COMPACTED TO A DENSITY OF 98% OF STANDARD PROCTOR MAXIMUM DENSITY. METALLIC WARNING TAPE SHALL BE PLACED AT 12" BELOW FINISHED GRADE ALONG THE ENTIRE TRENCH.
10. ALL COMPACTION OF SITE AREAS SHALL BE ACCOMPLISHED BY MECHANICAL MEANS. LARGER AREAS SHALL BE COMPACTED BY A SHEEP'S FOOT VIBRATORY ROLLER WEIGHING AT LEAST 5 TONS. SMALLER AREAS SHALL BE COMPACTED BY A POWER DRIVEN HAND HELD TAMPER. ALL COMPACTED AREAS SHALL BE COMPACTED TO WITHIN 95% OF STANDARD PROTOCOL MAXIMUM DENSITY TESTED BY AN INDEPENDENT LABORATORY. THE OWNER'S REPRESENTATIVE WILL PROVIDE THE CONTRACTOR WITH THE NAME AND NUMBER OF THE LABORATORY, BUT IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE TESTING. ANY SCHEDULING FOR A PROCTOR WILL BE CONTRACTOR'S RESPONSIBILITY AND MUST BE DONE IN A TIMELY FASHION TO ASSURE THE PROJECT WILL NOT BE DELAYED.
11. ALL FILL OR STONE WILL BE PLACED IN MAXIMUM 8" LIFTS PRIOR TO COMPACTING. FINISH GRADE, INCLUDING TOP SURFACE COURSE SHALL EXTEND 12" BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
12. USE RIP RAP IN ANY AREAS WITH SLOPE GREATER THAN 2:1, ENTIRE DITCH FOR 6 FEET IN ALL DIRECTIONS AT CULVERT OPENINGS, AND AS INDICATED ON PLANS.
13. SEED, FERTILIZER, AND STRAW COVER SHALL BE APPLIED TO ALL OTHER DISTURBED AREAS, DITCHES, DRAINAGE, AND SWALES NOT OTHERWISE RIP RAPPED. SEED AND FERTILIZER SHALL BE APPLIED TO SURFACE CONDITIONS, WHICH WILL ENCOURAGE ROOTING. PREPARE SURFACE PROPERLY TO ACCEPT THE SEED. SOW SEED IN TWO OPPOSITE DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
14. THE CONTRACTOR IS RESPONSIBLE TO ENSURE GROWTH OF THE SEED AND LANDSCAPING AREAS BY WATER, STRAW, MULCH NET AND ANY OTHER PROPER LANDSCAPING METHOD NECESSARY. A; AREAS MUST HAVE SUSTAINED GROWTH BY THE TIME OF COMPLETION OF THE PROJECT.
15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION ON SITE. ANY DAMAGE TO STRUCTURES OR WORK ON SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE PROVISIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANY COST ASSOCIATED WITH REPAIRS WILL BE AT THE CONTRACTORS EXPENSE
16. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL DAMAGE TO THE SITE SUBSEQUENT TO THE INSTALLATION OF THE POWER AND TELCO LINES.



GENERAL DYNAMICS
Wireless Services
5600 S QUEBEC ST
SUITE 109A
GREENWOOD VILLAGE, CO 80111

MT²
TELECOM, LP
1015-B AIRPORT ROAD
P.O. BOX 458
RIO VISTA, CA 94571
PHONE: (707) 374-5075
FAX: (707) 374-6194

COACH DR
FA10072664

END OF COACH DR
EL SOBRANTE, CA 94803

STAMP:

DRAWN BY: CNELSON

CHECKED BY: RMONTANEZ

NO	DATE	ISSUE	INITIALS
1	3.31.14	90% CD	CN/RM
2	04.30.14	100% CD	CN/RM

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

SP-1

JOB #: WD3112 PHASE #: 6



EL SOBRANTE VALLEY PLANNING & ZONING ADVISORY COMMITTEE

2

P.O. Box 10136 • El Sobrante, CA 94510

THURSDAY, MAY 8, 2014

EL SOBRANTE LIBRARY MEETING ROOM – 6:00-8:00 p.m.

Members: Co-Chair Eleanor Loynd Co-Chair John Lisenko
V. Chair Mike Zeelen Secretary Shirley Sharp Treas. Barbara Pendergrass
George Schmidt Robert Sharp Jim Hermann
3 Alternates to be Appointed: E.S. Chamber, MVNC, ESMAC

REVISED: AGENDA:

1. Call to Order & Review of Agenda Changes. Introduction of Members.
2. Approval of Minutes of April 10, 2014
3. Treasurer's Report: Barbara Pendergrass.
4. Correspondence Sent/Received.
5. Projects/Items Under Review:
 - 6:15 p.m. Update on former P&Z Member Ruby Molinari: She died on Tues., April 29. Her funeral was held on Mon., May 5. 4 P&Z Members attended the funeral & sent flowers. E.S. Chamber Pres. Marie Carayanis was also there with us and the family.
-NEW Assignment: Each P&Z member is asked to submit a written short description of their life, families, schools attended, jobs held, and more. These will be shared with members and kept on file, in case the information needed.
 - 6:30 p.m. NEW Project – LP14-2021. A request for a land use permit to allow the sale of beer and wine at Walgreens, 3630 San Pablo Dam Rd., El Sobrante. Fee: \$2,787. County Planner Christine Louie is requesting our comments prior to May 28, 2014. Robert Woods, Walgreens Store Manager, will be at our meeting to talk to us and answer questions. Some concerns: Safety on site with some homeless people nearby.
 - 7:00 p.m. -Improvements to I 80. Replace overcrossing at S.P. Dam Rd., move El Portal entrance to west I-80 back to Hilltop Dr., & put in a pedestrian bridge to Riverside School, 2014-2016.
 - 7:15 p.m. Review voter choice for Doctors Hospital Property Tax of 14 cents per sq. ft. of bldg. space. The mail-in ballot measure failed to pass with the two-thirds approval needed. No information on how many votes in favor from homeowners or business owners or apartment owners. The hospital could close in July.

7:30 p.m. Review of Parklet Plans for El Sobrante: County Staff is helping the E. S. Chamber & local businesses determine the places in El Sobrante where parklets could be set up. Information from Sharon Korotkin, Barbara Pendergrass, And Shirley Sharp. Note: Review Parklet Design Standards And Program Elements included in your Staff Report.

-Additional Information:

6. Public Comment: MEMBERS OF THE PUBLIC ARE INVITED TO ADDRESS THE COMMITTEE REGARDING ANY ITEM WHICH IS NOT LISTED ON THE AGENDA. GUEST SPEAKERS WILL BE LIMITED TO THREE (3) MINUTE PRESENTATIONS UNLESS EXTENDED BY THE COMMITTEE.

7. Next ESVP&ZAC Meeting: Thursday, JUNE 12, 2014 at 6 p.m. in the E.S. Library Mtg. Room.



CONTRA COSTA COUNTY OFFICE OF THE SHERIFF
DAVID O. LIVINGSTON
SHERIFF - CORONER

May 13, 2014

Barbara Pendergrass, Chair
El Sobrante MAC
3769-B San Pablo Dam Road
El Sobrante, CA 94803

Dear Ms. Pendergrass:

The Contra Costa County Office of the Sheriff is developing a 2014-2019 Strategic Plan. A key component in the strategic planning process is to meet with community stakeholders. I am contacting you to inquire if you or your designee would be interested in participating in this important project.

Part of the strategic planning process is to determine the needs of community members and solicit input regarding current trends impacting public safety. We are essentially charting the future course of the Office of the Sheriff and would welcome your participation.

If you are interested in participating in this process, please contact our Strategic Plan Coordinator Robert Nelson at RNelson@so.cccounty.us or (510) 220-6072 for further information.

Thank you in advance for your consideration of this request.

Sincerely,



DAVID O. LIVINGSTON
Sheriff - Coroner

DOL:mw



SPAWNERS

San Pablo Watershed Neighbors Education and Restoration Society

April 2014

Drought and the San Pablo Watershed

By Michelle Blackwell, Community Affairs Representative at EBMUD

This year's drought means we all need to conserve, but how does drought impact the local San Pablo Creek watershed? The San Pablo Creek watershed is within the EBMUD service area and is home to two of EBMUD's local untreated water storage reservoirs: San Pablo Reservoir and Briones Reservoir. There are over 30 waterways in the watershed including San Pablo, Appian, Wilkie, and Castro creeks. Some of these creeks are spring fed and flow year round, while others are seasonal and dry up in summer. During dry years the groundwater recharge rate is reduced, which slows the flow in year-round streams and causes seasonal streams to dry up more quickly. The good news is this is only our second dry year in a row and for the most part the local habitat is adjusting.

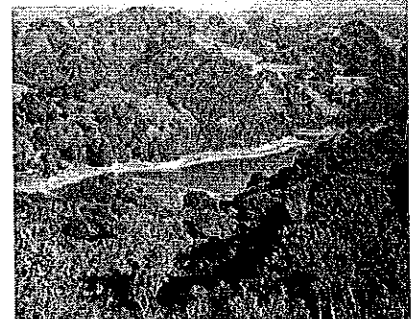


Wilkie Creek

Droughts are not new to California or the East Bay. In fact droughts are why most of the water used in the East Bay Service Area is piped in from the Sierra. California species such as the western pond turtle and the red-legged frog have developed survival skills for drought. EBMUD monitors these species as well as waterfowl and other common species in the watershed as part of our Habitat Conservation Plan. Our monitoring this year indicates that the local species are adjusting to the dry conditions and that this year's drought should not have lasting effects on their populations. Non-native species such as bull frogs may not fare as well because they have not developed the skills to adjust to drought. So drought (as long it is not prolonged) can actually benefit native species and their habitat.

Humans, however, are very resourceful when it comes to drought. EBMUD asked its customers for a voluntary conservation goal of 10% in February. As of the end of March we reached 11%, so bravo to all of you who are working hard to help us retain our water supplies. The single most effective way to save water is to fix leaks at your home or business. Our home audit program indicates that 1 in 4 homes has a leak. Common culprits are toilets, irrigation systems, water heaters, and faucets. For information about leaks, water conservation programs and more tips on how to save water, go to <http://www.ebmud.com/water-and-wastewater/watersmart-center>.

It's clear that this year will be among the driest on record for the East Bay. EBMUD has been preparing for this since the record-breaking 1976-77 drought by developing a multi-pronged program that includes water conservation, recycled water programs, groundwater storage, supplemental supplies, and expanded leak detection and repair. EBMUD has instituted long-term planning to meet the water needs of the East Bay today and in the future.



San Pablo Reservoir
-Photograph by Andrew Fowler

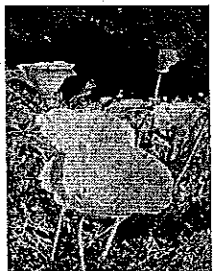
Note from SPAWNERS: If you are currently receiving a hard copy of the newsletter, please consider signing up for our electronic newsletter instead. E-mail courtney@thewatershedproject.org or call 510- 665-3538.



Water Conservation Tips

Install drought-resistant native plants

For more information, check out http://www.laspilitas.com/garden/Drought_resistant_plants_for_a_bay_area_garden.html. Stop by one of SPAWNERS' sites this spring to see some examples of drought-resistant native plants in bloom!



From left to right: California poppy, pink flowering currant, and sticky monkey flower. Photographs taken by Gudrun Kleist at the Wilkie Creek Outdoor Classroom (Santa Rita Rd./De Anza Dr., El Sobrante).

Sheet mulch and reduce water usage in your yard

Take out your water-intensive lawn by sheet mulching (<http://www.bayfriendlycoalition.org/LYL.shtml>). We also recommend reading the blog: <http://www.wunderground.com/blog/gardencoach/comment.html?entrynum=7>.

Please also remember that tap water contains chloramines, which are deadly to aquatic life. Fixing leaks and preventing irrigation water from overflowing into gutters and storm drains benefits the wildlife in and around our creeks, as well as conserving water.

Calendar of Events

Earth Day Celebration and Workday

Sat., April 19, 9:30am – 12:00pm

Main Site: El Sobrante Library, 4191 Appian Way

Satellite Site: El Portal Dr./Fordham St., San Pablo

Register at either site, starting at 9:00 a.m. Please note that the San Pablo satellite site has steep slopes and is best suited for adults and teenagers. If you want to clean up your own neighborhood, register at the library and we can provide trash bags. Activities will include a trash survey, a trash clean-up, and installing native plants. A light breakfast and lunch will be provided to all volunteers. Please wear sturdy shoes, a hat and sunscreen. All ages are welcome. Children must be accompanied by an adult. RSVP for groups of 10+ at 510-665-3538 or spawners@thewatershedproject.org.

Trash Surveys

Sat., April 19, 9:30 am, El Sobrante Library and

Tues. May 6, 9:30 am, Fred Jackson/Parr Blvd., Richmond

Join a county-wide effort to conduct trash surveys at designated "trash hot spots"! The surveys are used to help municipalities and non-profits to identify the source of different types of litter and to track the success rate in reducing litter. SPAWNERS is partnering with Contra Costa County and The Watershed Project to conduct two trash surveys. Volunteers will work in teams to track the types and amounts of trash found on land and in the creek. Please wear sturdy shoes, comfortable work clothes, and bring a water bottle. SPAWNERS will provide tools, gloves, rubber boots, and snacks. Please RSVP if you would like to help out.

El Sobrante Parklet Community Stakeholder Meeting Group

Monday, April 14

5:30 p.m. - 7:00 p.m.

El Sobrante Library - Community Meeting Room

4191 Appian Way, El Sobrante, CA

Agenda

- 1) Welcome/Introductions - Supervisor John Gioia
- 2) Overview of Process & Intend for Parklet - Supervisor John Gioia
- 3) Review DRAFT Design Standards
- Bob Calkins & Sean Tully (Dept. of Conservation & Development)
- 4) Review DRAFT Program Elements List
- Bob Calkins & Sean Tully (Dept. of Conservation & Development)
- 5) Review DRAFT Application Process Flow Chart
- Bob Calkins & Sean Tully (Dept. of Conservation & Development)
- 6) Next Steps
- Bob Calkins & Sean Tully (Dept. of Conservation & Development)
- 7) Set Next Meeting

Parklet Program Elements

The attached draft Parklet Design Standards document is just one section of the Parklet Program document being compiled for the Unincorporated County area. The Department of Conservation and Development is working with the Public Works Department and with outside agencies such as the Contra Costa County Fire Protection District to create a comprehensive document that will inform interested parties and streamline the application process. The completed document will also include the following sections.

Application Review Process

The Application Review Process Section will provide an overview of the parklet process from application submittal to parklet construction. Some of the subjects that will be covered in the Application Review Process Section are as follows:

- Method of application submittal
- County application review procedures
- Appeal procedures
- Supplementary review and permitting procedures (e.g. Building Inspection review, Encroachment Permit issuance, etc.)
- Parklet permit term limits
- Renewal procedures
- Revocation procedures

Additional Parklet Requirements

This section will provide information regarding non-design-related standards and requirements for the parklet program. Items to be covered in this section are as follows:

- Property owner authorization
- Liability insurance
- Removal bonds
- Maintenance agreements
- Required information and documentation for application packages
- Parklet plan requirements

Parklet Design Standards

A. Location

1. Right-of-Way: Parklets for public use shall be located within the public right-of-way, and not within a private roadway or on private property. Parklets proposed for location within private roadways or on private property require alternate review and approval from the County Department of Conservation and Development.
2. Designated On-Street Parking Areas: Parklets shall be located in designated on-street parking areas.
3. Posted Speed Limit: Parklets are encouraged for establishment along roadways with a posted speed limit of 25 mph or less. Parklets on roadways with speed limits over 25 mph may be considered on a case-by-case basis. (San Francisco Parklet Manual, pg.-14)
4. Corner Location: No parklet shall be located less than 25 feet from a public roadway intersection. (Public Works Department Standard)
5. Driveways: Parklets shall maintain a distance from adjacent driveways or other points of off-street access which meet line of sight standards as required by the County. The final distance required will vary based on the proposed parklet design, and shall be approved by the County Traffic Engineer.
6. Slope: Parklets are prohibited on streets where the running slope (direction parallel to street) exceeds 5 percent. When installed on streets with running slopes of three percent or greater, parklets will need to include a wheelchair rest area. (San Francisco Parklet Manual, pg-14)
7. Curb Color Zones: Parklets are prohibited in red (no stopping), blue (disabled), and white (loading) curb color zones. Parklets may be permitted within green (short-term) and yellow (commercial loading/unloading) curb color zones if it can be demonstrated that the loss of parking in those areas will not adversely impact surrounding land uses.
8. Utilities: No parklet shall impede access to any utility equipment, utility pole, fire hydrant, parking permit kiosk, or utility access such as manhole covers, drainage inlets, equipment shelters, etc. Additional setbacks from utility installments may be required for compliance with the respective utility district's standards.
9. Public Transit: No parklet shall be located within a bus zone or impede access to public transit stops (i.e. bus, light rail, train, etc.).
10. Traffic Volume: Parklets proposed within roadways with an Average Daily Traffic (ADT) count that exceeds 10,000 may require additional County review, location analysis, and safety design elements as determined by the County Traffic Engineer.

B. Minimum Design Standards: All parklet designs shall at minimum meet the following design standards.

1. Parking Areas: All parklets shall be located within designated on-street parking areas.
 - a. Parallel Parking Areas: When replacing parallel on-street parking, the parklet shall be the width (dimension measured parallel to curb) of at least one (1) parking space or a minimum of 12 feet in unmarked parking areas; and the full depth (dimension measured perpendicular to curb) of the parking space(s) or a minimum of 6 feet in unmarked parking areas. Portions of the required 6-foot parklet depth may be accommodated for within sidewalk areas, but the sidewalk encroachment shall not reduce the pedestrian path to a width of less than 4.5 feet.
 - b. Diagonal Parking Areas: When replacing diagonal on-street parking, the parklet shall be the width of at least two (2) spaces; and the full depth of the parking space(s).
 - c. Perpendicular Parking Areas: When replacing perpendicular on-street parking, the parklet shall be the width of at least two (2) spaces; and the full depth of the parking space(s).
2. Reflective Corner Elements: The four corners of a parklet area shall have a reflective element or other clearly visible design feature to signify the parklet envelope such as a soft-hit post or bollard. (San Francisco Parklet Manual, pg.-17)
3. Wheel Stops: In parallel parking areas, a 3-foot wheel stop shall be installed 1 foot from the curb at the boundary of the parklet and the adjacent parking space on either side. (San Francisco Parklet Manual, pg.-17)
4. ADA Compliance: All parklets shall comply with applicable Americans with Disabilities Act (ADA) standards at all times. Compliance with ADA standards is required with respect to design elements of the parklet, as well as for adjacent areas that may be impacted by the parklet (e.g. sidewalk areas).
5. Building Permit Compliance: All parklets shall be subject to and comply with the California Building Code.
6. Platform Surface: The top of the parklet platform shall be flush with the sidewalk and have a maximum gap of one-half inch from the curb. If the platform base is not solid, the space underneath the platform surface must be accessible for maintenance through access panels, removable pavers, or other method.
7. Drainage: No parklet shall impede the flow of curbside drainage. No parklet shall be located on or near a drainage inlet or gutter pan. All parklets shall allow for curbside drainage equal to the capacity of the gutter pan. (Public Works Department Standard)

8. Slope: The cross slope (direction perpendicular to the street) of the parklet platform surface shall not exceed 2 percent. (San Francisco Parklet Manual, pg.-29)
9. Buffer: All parklets shall have an enclosure, structure, edge or other buffer between parklet users and the adjacent traffic lane. This can take the form of planters, railings, cabling, or other appropriate buffer that is structurally fortified to meet the approval of the County Building Inspection Division.
10. Public Parklet Sign: All parklets shall have a minimum of two Public Parklet Signs indicating the hours of operation, and that the parklet is to be publicly accessible at all times during posted parklet hours (the parklet shall be "closed" during the overnight hours). Signs shall be no less than 2 square feet in area. Sign location and design shall be subject to review and approval by the County. (San Francisco Parklet Manual, pg.-27)
11. Traffic Lane: No parklet shall reduce the traffic lane within the public roadway to a width less than 15 feet in any location (San Pablo Dam Road).
12. Sidewalk Access: No parklet shall reduce, encroach within or otherwise block a designated pedestrian path or sidewalk to a width of less than 4.5 feet (San Pablo Dam Road). (Public Works Department Standard)
13. Weight: No parklet structure shall weigh more than 200 pounds per square foot to allow for easy removal or relocation.
14. Seating: Some form of permanent seating is encouraged for incorporation in all parklet designs. Individual seating (e.g. chairs and stools) is preferred rather than bench seating as it discourages sleeping in the parklet.
15. Trash Receptacle: All parklets shall include at least one permanent trash receptacle. Exceptions to this requirement may be permitted if a permanent receptacle is available on the sidewalk within 30 feet of the parklet.

C. General Design Standards

1. Parking Meters: All parking meters located within the area in front of a proposed parklet shall be removed prior to use of the approved parklet.
2. Signs/Advertising: No signs, logos, or advertising are permitted within or on a parklet. An exception is made for "Public Parklet" signs and small plaques recognizing the parklet sponsor, materials donors, and other contributors. (San Francisco Parklet Manual, pg.-27)
3. Adjacent Parking: In areas where parking spaces are marked, no parklet shall leave an adjacent "orphaned" parking space that is too small to accommodate a full parking space as required by the County. (San Francisco Parklet Manual, pg.-16)

(over)

4. Access Breaks: No parklet structure shall be wider (dimension measured parallel to the curb) than 32-feet unless a break is provided for emergency access between the traffic lane and sidewalk areas.
5. Loose Surface Materials: Loose materials such as sand, gravel, or loose stones are prohibited for use as a walking surface within a parklet. (San Francisco Parklet Manual, pg.-28)
6. Amplified Sound: No audio systems or other sound amplification devices are permitted for incorporation in the design of any parklet.
7. Traffic Lane Encroachment: No portion of a parklet structure or any associated safety features shall protrude, cantilever, or otherwise encroach within the adjacent traffic lane or any delineated bike lane (e.g. Class-II bike lane).

D. Platforms

1. Platform Fastening: Platforms shall be secured in place to prevent movement of the parklet structure. Platforms shall be secured to the existing street or curb via bolt or other method approved by the County.

E. Parklet Structure (Enclosure)

1. Height: Parklet walls shall not have a continuous height that exceeds 42 inches and shall not block views in or out of the parklet. Columns or other vertical framing for overhead elements are permitted. Any overhead element shall maintain a minimum height of 84 inches from the parklet platform surface.
2. Points of Entry: Parklet enclosures with a front (sidewalk side) wall shall have no less than two points of entry.
3. Smoking: No smoking (e-cigarettes included) is permitted within parklets at any time.